



# Agenda

# Agenda

## CITY COMMISSIONERS OF THE CITY OF WILDWOOD

Mayor/Commissioner – Ed Wolf – Seat 1  
 Mayor Pro-Tem/Commissioner – Ronald Allen – Seat 5  
 Pamala Harrison-Bivins – Seat 2  
 Don C. Clark – Seat 4  
 Robby Strickland – Seat 3  
 Robert Smith – City Manager

**November 14, 2011**

7:00 PM

PLEASE TURN OFF ALL CELL PHONES AND PAGERS

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Department, ADA Coordinator, at 352-330-1330, Ext. 102, forty-eight (48) hours in advance of the meeting.

F.S.S. 286.0105A-If a person decides to appeal any decision made by the Commission with respect to any matter considered at this meeting, they will need a record of the proceedings, and that for such purpose they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (The City of Wildwood DOES NOT provide this verbatim record).

### AGENDA

- THE MEETING IS CALLED TO ORDER BY THE MAYOR
- INVOCATION
- FLAG SALUTE

#### 1. TIMED ITEMS AND PUBLIC HEARINGS

7:00 PM (a)	<b>PUBLIC HEARING – 2nd FINAL READING</b>	<b>Ordinance No. O2011-14</b> , an Ordinance correcting scrivener's errors regarding Ordinance No. O0211-06 (Attachments – Staff recommends approval)
7:00 PM (b)	<b>TIMED ITEM</b>	Request by developer for approval to extend Turkey Run PUD – Ordinance #616 for a period of twelve-months due to real estate market conditions, effective November 11, 2011(Attachments – Staff recommends approval)
7:00 PM (c)	<b>TIMED ITEM</b>	Request for Site Plan approval for a Cingular Wireless PCS, LLC d/b/a AT&T Mobility 250' Communications Tower to be constructed on City property; approved for a variance and special exception by the P&Z Board/Special Magistrate on November 1, 2011 who recommended site plan approval by the Commission subject to approval, exemption or permitting by all agencies of competent jurisdiction (Attachments – Staff recommends approval)
7:00 PM (d)	<b>TIMED ITEM</b>	Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board/Special Magistrate recommends favorable approval of the rezoning as outlined in proposed <b>Ordinance No. O2011-18 for first reading</b> . (Attachments – Staff recommends approval)

\* Quasi Judicial Hearing

2. **REPORTS AND PUBLIC INPUT**

▪ **SPECIAL PRESENTATION:**

- a. City Manager
- b. City Attorney
- c. City Clerk
- d. Commission Members
- e. Public Forum (10 minute time limit)
- f. Notes, Reports, and items for the file as attached

3. **NEW BUSINESS – ACTION REQUIRED**

a. **MINUTES**

1. Minutes of Regular Meeting held on October 24, 2011(Attachments – Staff recommends approval)

b. **ORDINANCES FIRST READING ONLY (READ ONLY – NO VOTE)**

1. None

c. **RESOLUTIONS FOR APPROVAL:**

1. Resolution No. R2011-30 providing for the support of Sumter County Students Working Against Tobacco (SWAT) and the Tobacco Free Partnership of Sumter County in their efforts to cease the sale and use of flavored tobacco products to youth and teens in Sumter County to prevent early use of tobacco products and prevent future unnecessary deaths (Attachments & Folder – Staff Recommends Approval)
2. Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower and request approval to enter into 60-month Contract (# 111100468632) with Century Link for total of \$6,816 annually; paid in monthly installments of \$568 and one-time charge of \$1,432 for Channel Termination set up (Attachments – Staff Recommends Approval)
3. Resolution No. R2011-32 providing for a unique purchasing opportunity for materials, engraving & lettering of crypts from Southern Monument Studio, Inc., at a cost of \$6,340 to repair the deteriorating Mausoleum in Greenwood Cemetery (Attachments – Staff Recommends Approval)
4. Resolution No. R2011-33 declaring certain City owned unusable real property surplus and disposing of said property by exchanging it for property currently owned by Adeline Coachman which will be useable by the City for a planned Tot Lot (Attachments – Staff Recommends Approval)

d. **APPOINTMENTS**

1. Request for Appointment of Wildwood residents to two Lake-Sumter MPO committees:
  - a) Citizens' Advisory Committee (CAC) - Appoint new representative or re-appoint current representative, Stephen Stone. Mr. Stone has been contacted by COW staff and would like to serve another term if appointed; **AND**
  - b) Bicycle & Pedestrian Advisory Committee (BPAC) - Request for appointment of a representative to the currently vacant seat (Attachment - Board Option)
2. Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year (Sister Cities polled by City Clerk) (Attachment – Board Option)

e. **CONTRACTS AND AGREEMENTS**

1. None

**f. FINANCIAL**

1. Bills for Approval (Attachments – Staff Recommends Approval)
2. Discussion/Approval for purchase of Flygt Pump in the amount of \$24,412 to replace non-operational pump at the CR 468/Fla. Turnpike Pump Station, from ITT Water & Wastewater Florida, LLC, sole source provider of Flygt Pumps (Attachments – Staff Recommends Approval)
3. Discussion/Approval requested to purchase of 75 hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightening strike on Aug. 19, 2011 (Attachments – Staff Recommends Approval)
4. Discussion/Approval requested for Kimley-Horn to proceed with Individual Project Order (IPO) Number 12 in the amount of \$6,250 to provide an estimated cost to Refurbish Pump Station No. 2 at 3-Flags Resort on SR 44 or abandon the station and remove it from service (Attachments – Staff Recommends Approval)
5. Discussion/Approval to select the lowest quote from Mike's Painting and Pressure Cleaning, Inc. to repaint the Millennium Park Horizontal Water Tank (Attachments – Staff Recommends Approval)
6. Discussion/Approval to accept only the quotes from Air Mechanical & Service Corp. totaling \$41,750 to repair and paint the City Hall Columns (Attachments – Staff Recommends Approval)
7. Discussion/Approval to purchase 14' x 30' portable storage shed for placement at WWTP from Superior Sheds in the amount of \$6,000, lowest cost per sq. ft. (\$14.29/sf) for storage of water department materials presently stored in buildings on Wilson St. and Masters Ave. which are in need of major repairs (Attachments – Staff Recommends Approval)

**g. GENERAL ITEMS FOR CONSIDERATION**

1. Discussion/Approval of Christmas Parade & route proposed for the Parade (Attachments - Staff Recommends Approval)
2. Discussion/Approval of request from San Pedro Maldonado Mission for the closure of Wonders Street between the City Hall Annex and Gamble Street and use of City barricades on Sunday, December 11<sup>th</sup>, 2011, from 8:00 AM – 6:00 PM for their 4<sup>th</sup> Annual Our Lady of Guadalupe Celebration (Attachment – Board Option)
3. Discussion on possibility of increasing the Minimums on the Salary Schedule to reflect the 3% COLA that went into effect Oct. 1, 2011 or just assess all salaries, evaluating and rectifying current compression issues and present to Commission upon completion (Attachments – Board Option)

**4. ADJOURN:**

**NOTES – NO ACTION REQUIRED:**

- a. None

**REPORTS:**

**CITY MANAGER (2.a.f.):**

1. **FYI** – SWFWMD Notification of Second Extension of Water Shortage Order No. SWF 2010-022 (Attachments)
2. **FYI** – Steve Watson, Fleet Services Coordinator, Completion of 3-hr. Airtex Products Fuel Delivery System Training
3. **FYI** – Donald Marlow, Fleet Services, Completion of 3-hr. Airtex Products Fuel Delivery System Training
4. Update on vegetation clean up at Greenwood Cemetery (Joseph Jacobs, ICM)
5. Update on HVAC repairs (David Grimm, Projects Planner)

## TIMED ITEMS AND PUBLIC HEARINGS

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7:00 PM (b)	<b>TIMED ITEM</b>	Request by developer for approval to extend Turkey Run PUD – Ordinance #616 for a period of twelve-months due to real estate market conditions, effective November 11, 2011(Attachments – Staff recommends approval)
7:00 PM (c)	<b>TIMED ITEM</b>	Request for Site Plan approval for a Cingular Wireless PCS, LLC d/b/a AT&T Mobility 250' Communications Tower to be constructed on City property; approved for a variance and special exception by the P&Z Board/Special Magistrate on November 1, 2011 who recommended site plan approval by the Commission subject to approval, exemption or permitting by all agencies of competent jurisdiction (Attachments – Staff recommends approval)
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**ORDINANCE NO. O2011-14**

AN ORDINANCE OF THE CITY OF WILDWOOD, FLORIDA,  
CORRECTING SCRIVENERS ERRORS CAUSED BY  
SCRIVENERS ERRORS CONTAINED IN THE PROPERTY  
DESCRIPTION IN ORDINANCE NUMBER O2011-06; AND  
PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Ordinance O2011-06 was enacted using a property description in the ordinance; and,

WHEREAS, the property description provided to the City contained scrivener errors; and,

WHEREAS, all notice and other legal requirements to any property owner were met for the area, which was the correct area which would be affected by the ordinance; and,

WHEREAS, the property owner subsequently contacted the City with a corrected legal description; and,

WHEREAS, the City wishes to correct the legal description contained in Ordinance O2011-06.

NOW, THEREFORE, be it ordained by the City Commission of the City of Wildwood, Florida:

SECTION 1. The City of Wildwood enacted ordinance number O2011-06 on July 11, 2011, annexing certain real property north of the City of Wildwood. Certain scrivener errors were included in ordinance number O2011-06, which stated that the property was in Section 8, Township 18 South, Range 23 East. The scrivener errors contained in ordinance number O2011-06 are corrected to reflect that the property is located in Section 4, Township 18 South, Range 23 East.

SECTION 2. Section 1-14 of the City of Wildwood code of ordinances is hereby amended to include the following corrected legal descriptions contained in the attached Exhibit "A."

SECTION 3. All other parts of the ordinance remain in full force and effect.

SECTION 4. All ordinances or parts of ordinances in conflict herewith, be, and the same are hereby repealed.

SECTION 5. If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by a Court or competent jurisdiction, then said holding shall in no way effect the validity of the remaining portions of said Ordinance.

SECTION 6. Effective Date. This Ordinance shall take effect immediately upon its final adoption by the City Commission.

PASSED AND ORDAINED this \_\_\_\_ day of \_\_\_\_\_, 2011, by the City Commission of the City of Wildwood, Florida.

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

S E A L

ATTEST: \_\_\_\_\_  
Joseph Jacobs, City Clerk

\_\_\_\_\_  
Ed Wolf, Mayor

First Reading: \_\_\_\_\_  
Second Reading: \_\_\_\_\_

Approved as to form:

\_\_\_\_\_  
Jerri A. Blair, City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION:

THE NORTH 466.70 FEET OF THE SOUTH 481.70 FEET OF THE WEST 490.70 FEET OF THE NORTH ½ OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA.

LESS THE WEST 24.00 FEET FOR RIGHT-OF-WAY FOR C.R. 139.

AND LESS AND EXCEPT:

A PORTION OF NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°22'17" WEST ALONG THE WEST LINE OF SAID SECTION 4 A DISTANCE OF 50.00 FEET; THENCE SOUTH 89°30'00" EAST FOR 24.00 FEET TO THE EAST LINE OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 53, PAGE 414 OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE SOUTH 00°22'17" WEST ALONG SAID EAST LINE FOR 794.14 FEET TO THE NORTH LINE OF THE SOUTH 481.70 FEET OF SAID NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4 AND THE POINT OF BEGINNING; THENCE SOUTH 89°32'24" EAST ALONG SAID NORTH LINE FOR 26.00 FEET TO A LINE 50.00 FEET EAST OF, WHEN MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH, SAID WEST LINE OF SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 00°22'17" WEST ALONG SAID PARALLEL LINE FOR 421.73 FEET; THENCE SOUTH 44°33'15" EAST FOR 35.40 FEET; THENCE SOUTH 89°28'47" EAST FOR 116.37 FEET; THENCE SOUTH 00°27'36" WEST FOR 19.82 FEET TO A LINE 15.00 FEET NORTH OF, WHEN MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH, THE SOUTH LINE OF SAID NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4; THENCE NORTH 89°32'24" WEST ALONG SAID PARALLEL LINE FOR 167.34 FEET TO THE AFORESAID EAST LINE OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 53, PAGE 414; THENCE NORTH 00°22'17" EAST ALONG SAID EAST LINE FOR 466.70 FEET TO THE POINT OF BEGINNING.

**ALSO DESCRIBED AS:**

THE NORTH 466.70 FEET OF THE SOUTH 481.70 FEET OF THE WEST 490.70 FEET OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 23 EAST, SUMTER COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 4; THENCE ALONG THE WEST BOUNDARY OF SAID SECTION, S.00°22'17"W., 50.00 FEET; THENCE DEPARTING SAID WEST BOUNDARY, S.89°30'00"E., 24.00 FEET TO THE EAST BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 53, PAGE 414 OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA; THENCE ALONG THE EAST BOUNDARY OF SAID LANDS, S.00°22'17"W., 794.14 FEET TO THE NORTH BOUNDARY OF THE SOUTH 481.70 FEET OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF AFORESAID SECTION 4; THENCE DEPARTING SAID EAST BOUNDARY, ALONG SAID NORTH BOUNDARY, S.89°32'24"E., 26.00 FEET TO THE NORTHEASTERLY CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2186, PAGE 621 OF THE PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID NORTH BOUNDARY, S.89°32'24"E., 440.70 FEET TO THE EAST BOUNDARY OF THE WEST 490.70 FEET OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF AFORESAID SECTION 4; THENCE DEPARTING SAID NORTH BOUNDARY, ALONG SAID EAST BOUNDARY, S.00°22'17"W., 466.76 FEET TO THE NORTH RIGHT OF WAY LINE OF COUNTY ROAD 142 (RIGHT OF WAY WIDTH VARIES), SAID POINT BEING 15.00 FEET NORTH MEASURED AT RIGHT ANGLES TO THE SOUTH BOUNDARY OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 4; THENCE DEPARTING SAID EAST BOUNDARY, ALONG SAID NORTH RIGHT OF WAY LINE, N.89°31'42"W., 299.36 FEET TO THE SOUTHEAST CORNER OF AFORESAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2186, PAGE 621; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE, ALONG THE EASTERLY BOUNDARY OF SAID LANDS, N.00°27'36"E., 19.82 FEET TO THE NORTHERLY BOUNDARY OF SAID LANDS; THENCE DEPARTING THE EASTERLY BOUNDARY OF SAID LANDS, ALONG THE NORTHERLY BOUNDARY OF SAID LANDS, N.89°28'47"W., 116.37 FEET; THENCE CONTINUE ALONG THE NORTHERLY BOUNDARY OF SAID LANDS, N.44°33'15"W., 35.40 FEET TO THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 139 (HAVING A 100 FOOT RIGHT OF WAY); THENCE DEPARTING THE NORTHERLY BOUNDARY OF SAID LANDS, ALONG SAID EAST RIGHT OF WAY LINE, N.00°22'17"E., 421.73 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 4.65 ACRES, MORE OR LESS.

1. (b) TIMED ITEMS – Request by developer for approval to extend Turkey Run PUD – Ordinance #616 for a period of twelve-months due to real estate market conditions, effective November 11, 2011

**CITY COMMISSION OF THE CITY OF WILDWOOD**

**EXECUTIVE SUMMARY**

**SUBJECT:** Turkey Run

**REQUESTED ACTION:** Extension of Turkey Run PUD

Work Session (Report Only)  
 Regular Meeting

**DATE OF MEETING:** 11/14/11  
 Special Meeting

**CONTRACT:**  N/A  
Effective Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

Vendor/Entity: \_\_\_\_\_  
Termination Date: \_\_\_\_\_

**BUDGET IMPACT:** \_\_\_\_\_

Annual  
 Capital  
 N/A

**FUNDING SOURCE:** \_\_\_\_\_  
**EXPENDITURE ACCOUNT:** \_\_\_\_\_

**HISTORY/FACTS/ISSUES:**

Gregg Zuckerman is requesting a six (6) month extension of the Turkey Run PUD – Ordinance #616, due to real estate market conditions, per his letter dated October 28, 2011.

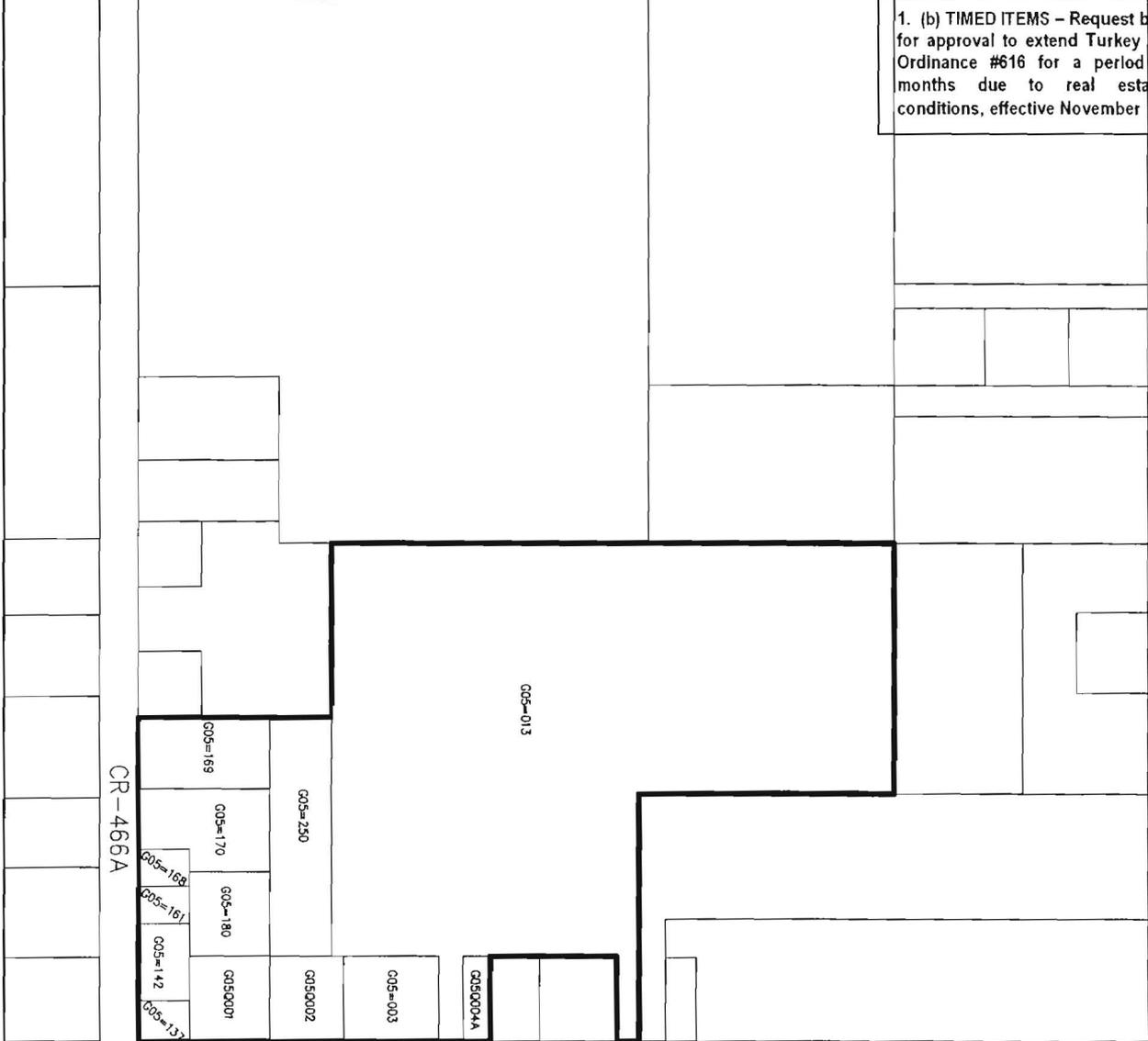
Staff recommends that the Commission grant the requested extension for a period of twelve (12) months effective November 11, 2011.

Subsection 8.6 (D) of the Land Development Regulations (LDRs), *Request for extension*, allows for the City Commission to grant extensions of planned development approvals for periods of up to twelve (12) months provided the applicant can show good cause why said development was delayed under the originally approved development plan.



Melanie Peavy  
Development Services Director

1. (b) TIMED ITEMS - Request by developer for approval to extend Turkey Run PUD - Ordinance #616 for a period of twelve-months due to real estate market conditions, effective November 11, 2011



CR 139

CR-462



1. (b) TIMED ITEMS – Request by developer for approval to extend Turkey Run PUD – Ordinance #616 for a period of twelve-months due to real estate market conditions, effective November 11, 2011

TURKEY RUN 2, LLC  
c/o Rock Properties, Inc.  
111 E. Fairbanks, Ave., Ste. 100  
Winter Park, FL 32789  
(407) 478-8220  
FAX: (407) 478-8221

October 28, 2011

Via e-mail and U.S. Mail

Melanie Peavy  
Development Services Director  
City of Wildwood  
100 North Main Street  
Wildwood, FL 34785

RE: City of Wildwood, Florida Ordinance #616  
Turkey Run PUD

Dear Ms. Peavy,

I am writing to request six (6) month extension of time for Ordinance #616, executed by Mayor Ed Wolf with an effective date of November 11, 2008

Pursuant to section 14 of the Ordinance, the PUD will expire without any significant construction activities commencing by November 14, 2011. We are making this request as we are making significant progress with Providence One for the development of a portion of the property for the 173 unit ILF and will hopefully have DRC approval on November 15<sup>th</sup> and then move on to City Council.

Once we have site plan approval, the architect will commence working on the drawings to submit for a building permit.

Thank you in advance for considering our request and should you have any questions or require any additional information, please do not hesitate to contact me at (407)478-8220.

Sincerely,



Turkey Run 2, LLC  
Gregg I. Zuckerman

# CITY COMMISSION OF THE CITY OF WILDWOOD

## EXECUTIVE SUMMARY

**SUBJECT:** SP 1109-01 250' Communications Tower, New Cingular Wireless PCS LLC d/b/a AT&T Mobility

**REQUESTED ACTION:** Site Plan approval for a 250' Communications Tower to be constructed on City property.

Work Session (Report Only)      **DATE OF MEETING:** 11/14/2011  
 Regular Meeting                       Special Meeting

**CONTRACT:**  N/A                      Vendor/Entity: \_\_\_\_\_  
Effective Date: \_\_\_\_\_              Termination Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

**BUDGET IMPACT:** \_\_\_\_\_

Annual                      **FUNDING SOURCE:** \_\_\_\_\_  
 Capital                      **EXPENDITURE ACCOUNT:** \_\_\_\_\_  
 N/A

### HISTORY/FACTS/ISSUES:

Case #SP1109-01 was considered by the Planning & Zoning Board on Tuesday, November 1, 2011. The Planning & Zoning Board/Special Magistrate approved a Variance (case number V 1110-01) and a Special Exception for a communications tower (case number SE 1109-01), then gave a favorable recommendation of the site plan to the City Commission.

Staff recommends that the Commission accept the Planning & Zoning Board's recommendation subject to approval, exemption or permitting of the project by all agencies of competent jurisdiction.



Melanie Peavy  
Development Services Director

**CITY OF WILDWOOD  
PLANNING AND ZONING BOARD**

**Case No:** V 1110-01  
**Property Owner:** City of Wildwood  
**Lessee:** New Cingular Wireless LLC d/b/a AT&T Mobility  
**Requested Action:** Approval of a Variance waiving the requirements under subsection 3.9(E)(17)(d) of the Land Development Regulations (LDRs), requiring any communications tower visible from a residential or mixed use zoning district be disguised so as to not be recognizable as a telecommunications tower when viewed from the residential district.

The above case number came before the Planning and Zoning Board/Special Magistrate on Tuesday, November 1, 2011. The Special Magistrate having heard arguments by Development Services Director Melanie Peavy, City Attorney Jerri Blair, and from the applicant's attorney, Lauralee Westine, Esq., the Planning and Zoning Board finds and orders as follows:

**FINDINGS OF THE BOARD/SPECIAL MAGISTRATE**

- A. Pursuant to the City's Land Development Regulations, section 3.12 Variiances, a variance may only be granted where, owing to special conditions, as outlined below in the next section, a strict literal enforcement of the provisions will, in an individual case, result in the unnecessary or undue hardship upon the owner of the subject property or structure or upon the application for the variance.
- B. The City of Wildwood's Development Services Director recommends approval for New Cingular Wireless, LLC's request to waive the requirements under subsection 3.9(E)(17)(d) of the Land Development Regulations (LDRs), considering the information provided and the impossibility of meeting the physical requirement of disguising the cell tower due to its size.
- C. Wildwood Land Development Regulations, subsection 1.7(B)(3) provides authority for the Planning and Zoning Board/Special Magistrate to make the final determination on requests for variances.

It is now therefore determined:

**CONCLUSIONS OF LAW**

Pursuant to the authority conveyed to the Planning and Zoning Board/Special Magistrate in the City of Wildwood Land Development Regulations, subsection 1.7(B)(3), the Special Magistrate has heard the arguments and testimony of both parties and the interpretation of the City of Wildwood's Development Services Director finding that the subject property does meet the criteria for a variance under section 3.12 is hereby confirmed and approved, based on the following:

The variance application presented was complete and the meeting was duly noticed.

The variance request met the following criteria under section 3.12(A)(3):

- (1) Other substantial, extraordinary or exceptional situations (s) or condition(s) which are not generally prevalent in the zoning district as deemed appropriate by the Planning and Zoning Board.

Based on the testimony and information presented, and subsections 3.12(A)(3), 3.12(B)(3), and 3.12(A)(3) of the LDRs the variance is appropriate and the granting of the variance will not adversely affect the public interest.

**Therefore, the request for a Variance is approved.**

DATE: November 7, 2011



Archie O. Lowry, Jr.  
Special Magistrate, City of Wildwood

**CITY OF WILDWOOD  
PLANNING AND ZONING BOARD**

**Case No:** SE 1109-01  
**Property Owner:** City of Wildwood  
**Applicant:** New Cingular Wireless  
**Requested Action:** Approval of a Special Exception to allow a 250' Communications Tower in an area zoned Public, Educational, Utilities (PEU).

The above case number came before the Planning and Zoning Board/Special Magistrate on Tuesday, October 4, 2011 and was continued to Tuesday, November 1, 2011. The Special Magistrate having heard arguments by Development Services Director Melanie Peavy, City Attorney Jerri Blair, and testimony from the applicant's attorney, Lauralee Westine, Esq., the Planning and Zoning Board finds and orders as follows:

**FINDINGS OF THE BOARD/SPECIAL MAGISTRATE**

- A. Pursuant to the City's Land Development Regulations, when reviewing an application for a Special Exception other than for a home occupation permit, the board shall consider the requirements enumerated in subsection 3.9(C) Special exceptions, Review criteria (outlined below in the next section).
- B. The City of Wildwood's Development Services Director has determined that New Cingular Wireless LLC's request for a 250' Communications Tower in an area zoned Public, Educational, Utilities (PEU) is permitted under the Land Development Regulations subsection 3.9(C), subject to the special requirements of subsection 3.9(E)(17) and any approved variance thereof.
- C. The City of Wildwood Land Development Regulations, subsection 3.9(B)(3) provides authority for the Planning and Zoning Board/Special Magistrate to approve, approve with conditions, or deny the Special Exception Use.

It is now therefore determined:

**CONCLUSIONS OF LAW**

Pursuant to the authority conveyed to the Planning and Zoning Board/Special Magistrate in the City of Wildwood Land Development Regulations, subsection 3.9(B)(3), the Special Magistrate has heard the testimony of the City of Wildwood's Development Services Director finding that the subject property does meet the criteria for a Special Exception, which is hereby confirmed and approved, based on the review criteria set out in subsection 3.9(C):

When reviewing an application for a special exception other than for a home occupation permit, the board shall consider the following requirements and criteria:

- (1) The proposed use must comply with the Comprehensive Plan;

- (2) Size, location or number of special exception uses in this area shall be limited so as to maintain the overall character of the district as intended by this Code;
- (3) Justification has been presented as to why the special exception should be granted; and
- (4) Allowance of the special exception use will not result in a decrease in neighboring property values.

Based on the testimony and information provided, and subsections 3.9(C)(1), 3.9(C)(2), 3.9(C)(3), and 3.9(C)(4) of the LDRs which address the criteria for the approval of a Special Exception that have been established in this case, **there is basis for the approval of a Special Exception.**

**Therefore, the request for a Special Exception is approved.**

DATE: November 7, 2011



Archie O. Lowry, Jr.  
Special Magistrate, City of Wildwood

**Planning & Zoning Board/Special Magistrate**

The case below was heard on Tuesday, October 4, 2011 and was continued to the meeting of Tuesday, November 1, 2011 by the Special Magistrate. The applicant seeks approval and favorable recommendation from the Wildwood Planning and Zoning Board/Special Magistrate for the erection of a 250' communications tower. The tower would be located on the property known as the City of Wildwood RIB site which is located in a Public, Educational, Utilities (PEU) zoning district.

**Case:** SP 1109-01

**Parcel:** A portion of D29=029

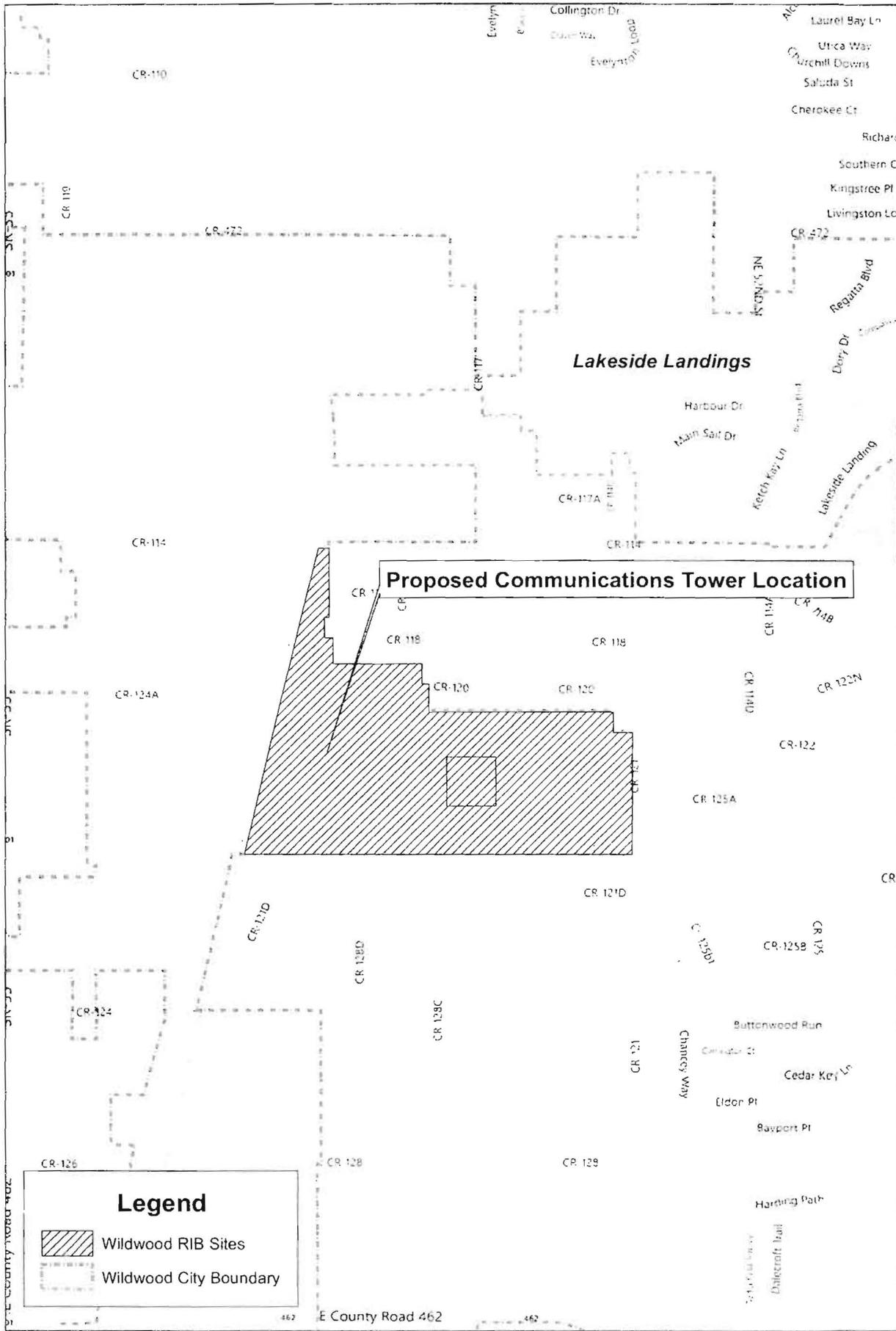
**Owner:** City of Wildwood

**Applicant:** New Cingular Wireless, LLC d/b/a AT&T Mobility

Based upon the testimony and information presented, the Special Magistrate recommends approval of the site plan and favorable recommendation of project number SP 1109-01 to the City Commission.

Dated: November 7, 2011

  
\_\_\_\_\_  
Archie O. Lowry, Jr.  
Special Magistrate, City of Wildwood

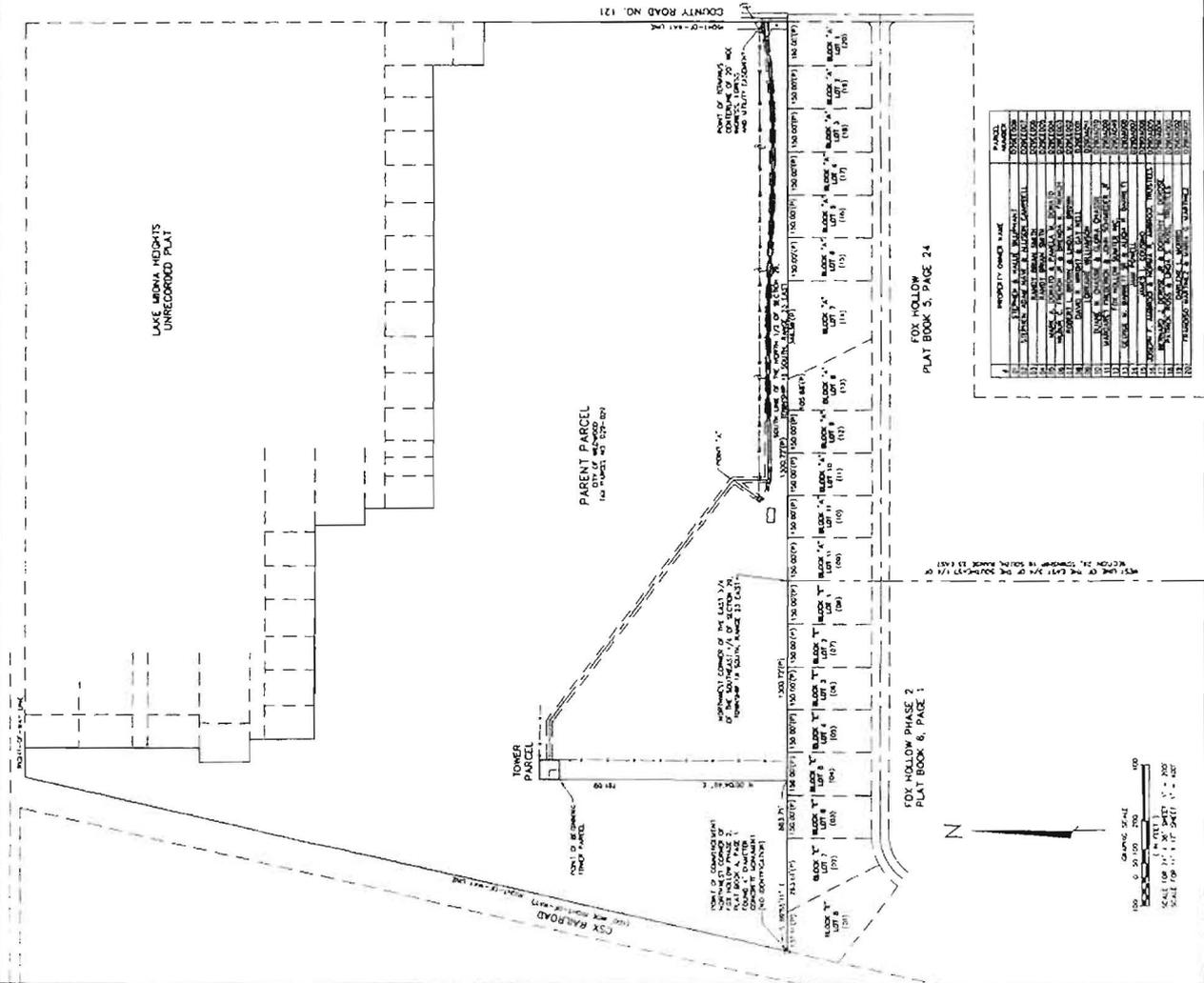






# BOUNDARY AND TOPOGRAPHIC SURVEY

FOR  
 TOWER SITE, COUNTY, FLORIDA  
 TOWER SITE, COUNTY, FLORIDA  
 TOWER SITE, COUNTY, FLORIDA



### PROPERTY DESCRIPTIONS

THE PROPERTY DESCRIBED IN THIS SURVEY IS SHOWN IN THE ATTACHED PLAT AND IS DESCRIBED AS FOLLOWS:

1. THE PROPERTY DESCRIBED IN THIS SURVEY IS SHOWN IN THE ATTACHED PLAT AND IS DESCRIBED AS FOLLOWS:

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15. THE PROPERTY DESCRIBED IN THIS SURVEY IS SHOWN IN THE ATTACHED PLAT AND IS DESCRIBED AS FOLLOWS:

**GEOLINE SURVEYING, INC.**  
 Professional Land Surveyors  
 11000 W. US Highway 90, Suite 100  
 Jacksonville, Florida 32218  
 (904) 241-1111  
 www.geoline-surveying.com

DATE	11/11/11
PROJECT	FOX HOLLOW PHASE 2
CLIENT	FOX HOLLOW PHASE 2, LLC
LOCATION	FOX HOLLOW PHASE 2, LLC
SCALE	AS SHOWN
BY	[Signature]
CHECKED BY	[Signature]
DATE	11/11/11

1. (c) TIMED ITEMS - Request for Site Plan approval for a Circular Wireless PCS, LLC db/a AT&T Mobility 250 Communications Tower....

# CITY COMMISSION OF THE CITY OF WILDWOOD

## EXECUTIVE SUMMARY

**SUBJECT:** Wildwood Springs Planned Development

**REQUESTED ACTION:** Approval of PD rezoning as outlined in proposed Ordinance #2011-18

Work Session (Report Only)      **DATE OF MEETING:** 11/14/11  
 Regular Meeting                       Special Meeting

**CONTRACT:**       N/A                      Vendor/Entity: \_\_\_\_\_  
Effective Date: \_\_\_\_\_                      Termination Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

**BUDGET IMPACT:** \_\_\_\_\_

Annual                      **FUNDING SOURCE:** \_\_\_\_\_  
 Capital                      **EXPENDITURE ACCOUNT:** \_\_\_\_\_  
 N/A

### HISTORY/FACTS/ISSUES:

Project: Wildwood Springs  
Parcel Numbers: G30=030, G30=036, G31=002, G31=003, G31=008, G31=001, G32=004, G33=019, and G33=149  
Property Location: CR 468  
Owner: Wildwood Springs, LLC / Applicant: Reader and Partners, LLC

The applicant seeks approval from the City Commission for an amendment to Ordinance #622 concerning the "Planned Unit Development" (PUD) zoning on the Wildwood Springs Development.

Pursuant to Policy 1.7.1 of the Future Land Use Element of the Comprehensive Plan, the maximum development scenario of the property is a maximum of 3,700 residential dwelling units and 225,000 square feet of nonresidential uses.

The conceptual plan presented illustrates 3,000 residential dwelling units (as well as 225,000 of commercial office/retail space) and is consistent with Policy 1.3.2 of the Future Land Use Element which requires all residential developments to contain a mix of housing types, as one-third of those units are multi-family dwelling units. The project is in compliance with the remaining goals, objectives and policies of the City's Comprehensive Plan.

The Planning & Zoning Board/Special Magistrate recommended favorable approval of the rezoning amendment to the City Commission.

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommended favorable approval of the rezoning as outlined in proposed Ordinance No. 02011-18 for first reading

Therefore, staff recommends approval of the Wildwood Springs Planned Development via Ordinance #2011-18.



Melanie Peavy  
Development Services Director

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**Planning & Zoning Board/Special Magistrate**

The case below was heard on Tuesday, November 1, 2011 by the Special Magistrate. The applicant seeks approval and a favorable recommendation for an amendment to Ordinance #622 concerning the "Planned Unit Development" (PUD) zoning on the Wildwood Springs Development. The project will contain a maximum of 3,000 dwelling units and 225,000 square feet of retail and office space; however, the project may increase the amount of dwelling units to 3,700 through the use of a conversion matrix contained in the Amended and Restated Development Order (ARDO).

**Case:** RZ 1108-02

**Parcel:** G30=030, G30=036, G31=002, G31=003, G31=008, G31=001, G32=004, G33=019, and G33=149 (1,047.51 acres, MOL).

**Owner:** Wildwood Springs, LLC

**Applicant:** Reader and Partners, LLC

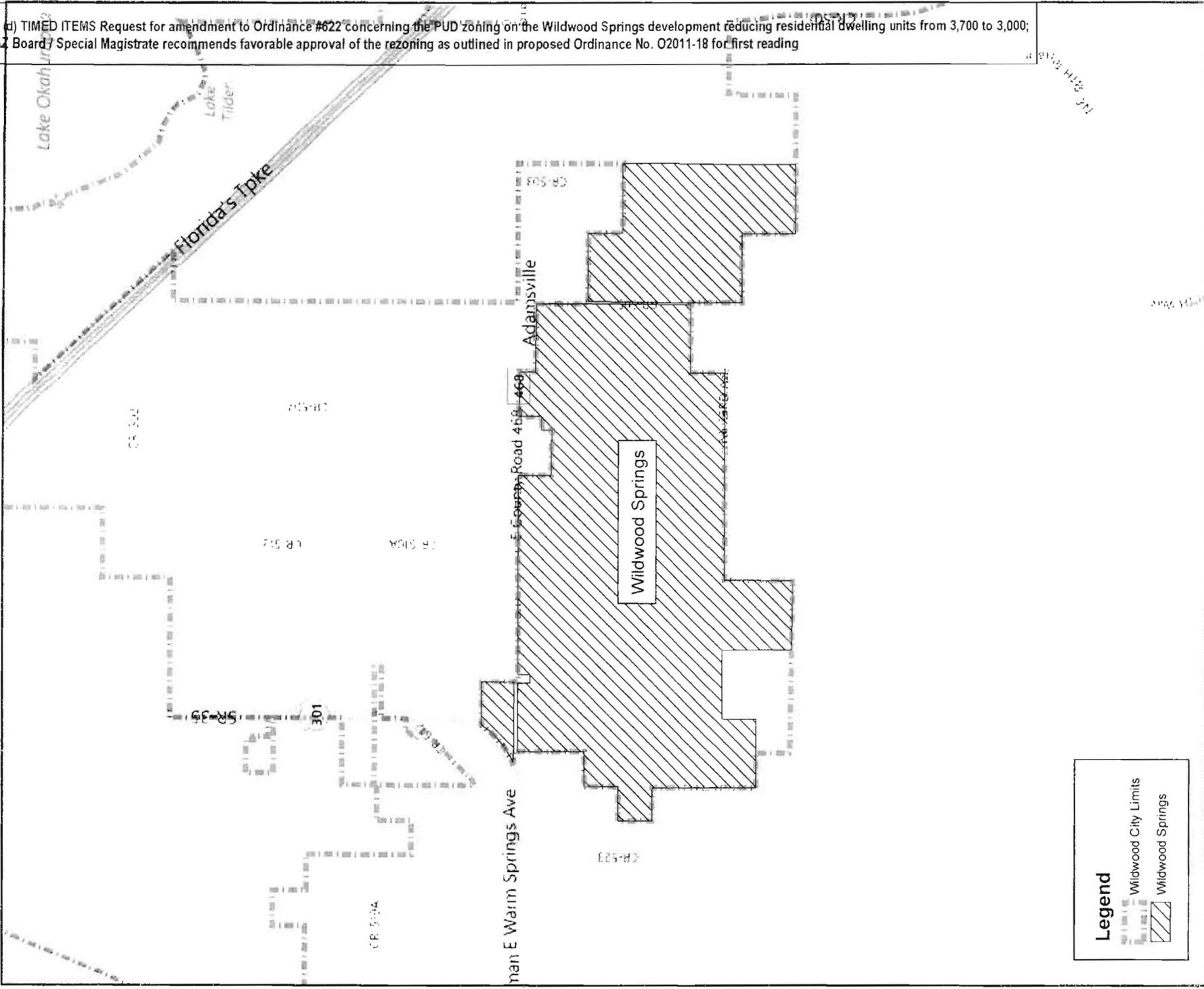
Based upon the testimony and information presented, the Special Magistrate recommends approval of the rezoning and favorable recommendation of Ordinance #O2011-18 to the City Commission.

**Dated:** November 7, 2011



Archie O. Lowry, Jr.  
Special Magistrate City of Wildwood

1. d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



**Legend**

- Wildwood City Limits
- Wildwood Springs

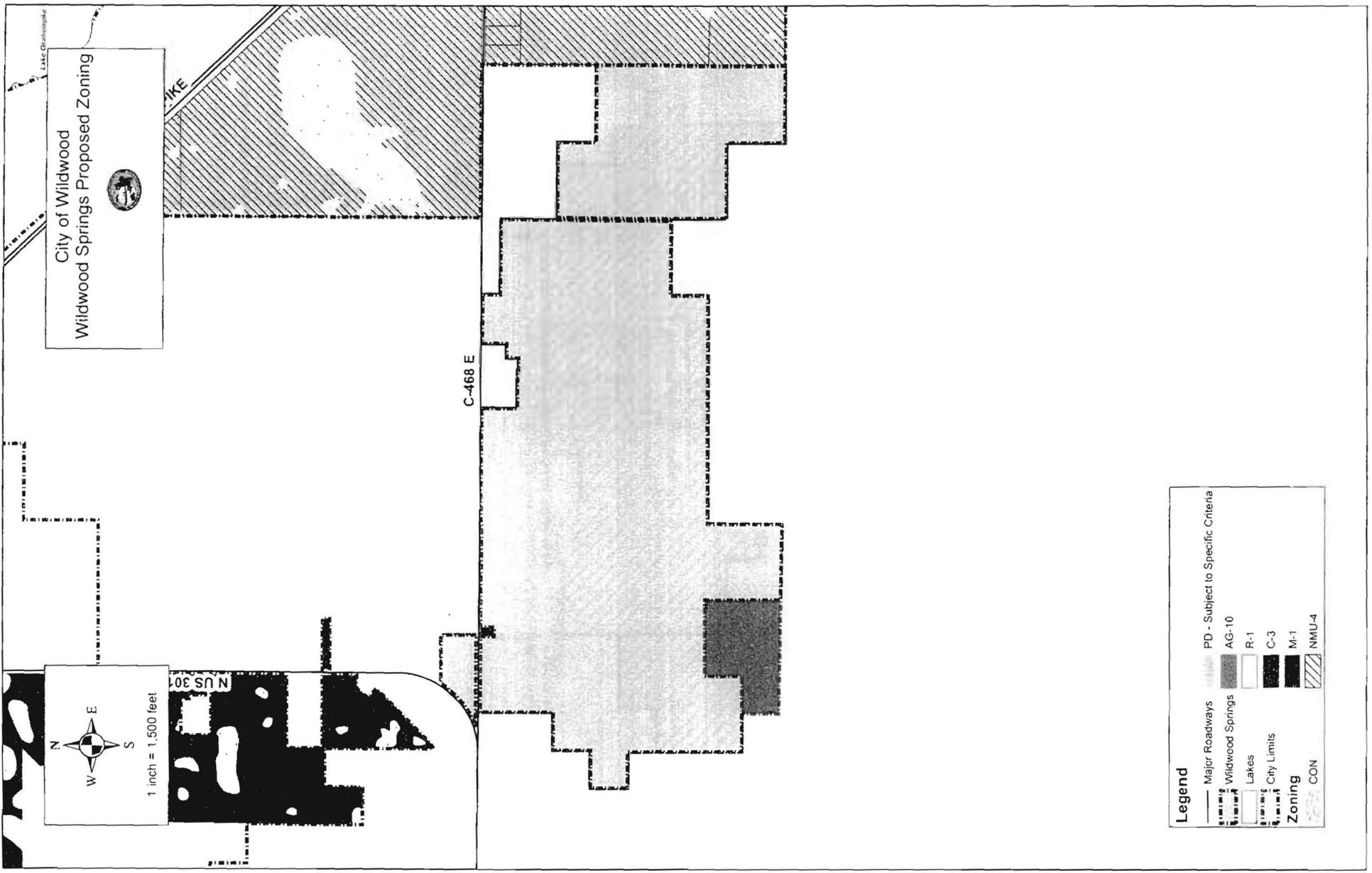


1 inch = 2,500 feet

City of Wildwood, Florida  
Wildwood Springs



1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



1. (d) TIMED ITEMS Request for amendment to Ordinance #522 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000;  
P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

**ORDINANCE NO. O2011-18**

**AN ORDINANCE OF THE CITY OF WILDWOOD GRANTING A REQUEST FOR A PLANNED DEVELOPMENT PURSUANT TO SECTION 8.6 OF THE LAND DEVELOPMENT REGULATIONS; FOR CERTAIN PROPERTY WITHIN THE CITY OF WILDWOOD, FLORIDA; OWNED BY WILDWOOD SPRINGS, LLC; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.**

BE IT ORDAINED by the City Commission of the City of Wildwood, Florida, as follows:

The application filed by Wildwood Springs, LLC (hereinafter referred as the "Developer") for a Mixed Use Planned Development was heard by and before the City Commission, Wildwood, Florida on this \_\_\_\_\_ day of \_\_\_\_\_, 2011. Based upon the verified application and supporting documents, analyses, maps, charts, other evidence and instruments, the advice, report and recommendations of the Project Review Committee and the testimony adduced and evidence received at the Public Hearing by the Planning and Zoning Board on November 1, 2011 and otherwise being fully advised, the City Commission does hereby find and determine as follows:

**SECTION 1: GENERAL FINDINGS**

- A. That the Wildwood Springs Planned Development Application (hereinafter referred to as "the Project") was duly and properly filed herein on August 29, 2011.
- B. That all fees required to be borne and paid by the Developer have been paid in accordance with the City of Wildwood Fee Schedule.
- C. That the Project was reviewed by the Project Review Committee and found to meet or exceed the minimum standards of the City's Land Development Regulations, Code of Ordinances, and all other applicable ordinances and regulations.
- D. That the Developer intends to develop property consisting of 1047.51 acres more or less which is situated in Wildwood, Florida. This land is legally described, a true copy of which is attached hereto as "Exhibit A".
- E. That the City approved the Wildwood Springs Amended and Restated Development Order (ARDO) on April 11, 2011.
- F. That the Developer has complied with the conceptual plan provision as required by Section 8.4 of the Land Development Regulations.

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

- G. That the City has complied with the due notice requirements of Section 3.3(B) 3 of the Land Development Regulations.
- H. That the City has approved and adopted Ordinance 622 with an effective date of June 12, 2011 and Ordinance 622 is hereby amended by this Ordinance.
- I. That nothing in this ordinance shall be construed as waiving or limiting the Developer's right to develop the Property in accordance with the version of the Land Development Regulations in effect prior to July 25, 2011. It is also acknowledged that Developer has the right, but not the obligation, to proceed under all or portions of the version of the Land Development Regulations that were adopted by the City on July 25, 2011, as amended from time to time.

**SECTION 2: FINDINGS REGARDING PLANNED DEVELOPMENT OVERLAY**

- A. That the Developer has applied for a Mixed Use Planned Development (MUPD) of the lands described in "Exhibit A".
- B. That the Project is consistent with both the City of Wildwood Comprehensive Plan, the intent and purpose of the City of Wildwood Land Development Regulations, the Wildwood Springs Amended and Restated Development Order, and does promote the public health, safety, morals, welfare, and orderly growth of the City of Wildwood.
- C. That the City of Wildwood Land Development Regulations are consistent with the provisions of the "Planned Development Agreement" as hereinafter set forth in Section 3 and Section 4 of this Ordinance. With respect to any conflict between the Land Development Regulations and the "Planned Development Agreement", the provisions of the "Planned Development Agreement" shall govern.
- D. This Ordinance shall become effective immediately upon its approval and adoption by the City Commission.

**SECTION 3: PLANNED DEVELOPMENT AGREEMENT: GENERAL PROVISIONS**

- A. Development Concept. The Project shall be developed as a Planned Development substantially in accordance with this Ordinance and the Amended and Restated Development Order, as the same may be amended from time to time in accordance with the law. This Planned

Development Agreement shall govern the development of the Project. The Project shall adhere to the Design Standards contained within Section 4 of this Ordinance.

- B. Conceptual Development Plan. The Project includes a conceptual development plan pursuant to Section 8.4 of the Land Development Regulations. The Conceptual Plan prepared by Poulos & Bennett, LLC, dated August 2011 as revised through October 19, 2011 is incorporated into this Ordinance as "Exhibit B". The conceptual development plan is substantially consistent with the Wildwood Springs Amended and Restated Development Order and Policy 1.7.1 of the Future Land Use Element of the City of Wildwood Comprehensive Plan. The conceptual development plan is conceptual in nature and may be affected by compensating storage capacity in flood prone areas, final wetland or protected species location, final engineering, permitting, surveys, and market conditions. As such, the roadway alignment and development areas depicted on the conceptual development plan may be revised prior to and as part of the construction plan review process.
- C. Development Program. The Project shall consist of up to 3,000 residential units and up to 225,000 square feet of retail/office uses. Through the use of the equivalency table contained with the ARDO, the maximum number of residential units may increase to 3,700 provided the units are located in the Mixed Use Commercial or Community Residential areas indicated on the conceptual development plan. The Project shall contain a mix of housing types and styles and will included two or more of the following types: single family detached, single family attached, apartments or condominiums, or units mixed vertically within nonresidential buildings. The project will be phase based on market conditions generally from CR 468 to the south. It is anticipated that the Project will commence with smaller sub phases in general accordance with the timeline outlined in the ARDO.
- D. Zoning Overlay Map. The Planned Development shall be filed and retained for public inspection and shall constitute a supplement to the zoning overlay map pursuant to subsection 8.2(G) of the Land Development Regulations.
- E. Amendments. All substantial modifications requiring an amendment to the Planned Development Agreement shall require review and recommendation of the Planning and Zoning Board and action by the City Commission in the same manner as an Application for Planned Development. The Development Services Director shall have the right to determine and approve non-substantial changes, such as minor adjustments to the phasing plan or development program consistent with the conversion matrix, without the need for an amendment to the Planned

1. (d) TAMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

(d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
82 Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

Development Agreement. Determination of whether a change is non-substantial shall be at the discretion of the Development Services Director.

F. Future Approvals. After the Planned Development is recorded, and prior to any construction occurring, a site plan or subdivision preliminary plan depicting the proposed phase or sub phase shall be submitted for review and approval in the manner required by Chapter 4 or Chapter 5 of the Land Development Regulations, whichever Chapter is applicable. Prior to approval of a site plan or a subdivision preliminary plan, the Project shall submit the following:

- 1) Springs Protection Plan. The Applicant shall prepare and submit for approval a springs protection plan pursuant to section 6.9 of the Land Development Regulations to demonstrate the protection of Fenney Spring. The Applicant shall be responsible for any costs associated with review of the springs protection plan.
- 2) Recreation and Open Space Master Plan. In lieu of the City's amenity and open space requirements contained within the Design District Standards, the Applicant may prepare and submit for approval a recreation and open space master plan. The recreation and open space master plan will describe in detail how adequate recreation and open space will be provided within development areas and within the overall Project itself. The master plan will be substantially consistent with the conditions of the Amended and Restated Development Order and this Planned Development Agreement.
- 3) Bicycle and Pedestrian Pathway Master Plan. The Developer will submit a phased bicycle and pedestrian master plan. The overall pathway system will provide for a phased connection between residential areas, mixed use areas, community amenities, Fenney Spring, and CR 468.
- 4) Signage Master Plan. A phased signage master plan shall be prepared and reviewed by the City. Updates may be submitted with each additional subdivision plan.
- 5) Utility/Developer's Agreement. The City of Wildwood will provide water and wastewater services to the Project. The City and the Developer will enter into a Utility or Developer's Agreement to address the provisions of water, wastewater, and reuse water to the Project.

#### **SECTION 4: PLANNED DEVELOPMENT AGREEMENT: PROJECT STANDARDS**

A. General Principles and Standards. The standards contained herein are intended to create a pedestrian-scaled community with a defined sense of place. The general standards accomplish this intent by providing for architectural scale; ensuring connectivity between land uses such that

neighborhoods are walk-able and bike-able, which encourages interaction among its residents; and demonstrating a community commitment to the environment through the preservation of open space.

B. Local Street Network. The concept for the local street system is a "soft" grid of curving streets. This geometry creates a unique neighborhood identity, relates to the existing land forms, and provides for a greater pedestrian friendly environment, and improved street vistas. Streets shall be connected and cul-de-sacs shall be minimized generally to areas limited by specific site or environmental conditions that prevent connections.

- 1) Primary access points are identified on the conceptual development plan and will include a minimum of six (6) vehicular and pedestrian connections: four (4) to C.R. 468; one (1) connection to the eastern boundary; and one (1) connection to the south along C.R. 505. Additional connections will be provided as appropriate based on site constraints and compatibility of adjacent land uses. Precise locations of internal streets shall be determined through the subdivision preliminary plan approval process. On-street parallel parking shall be permitted on all streets unless specifically excluded herein.
- 2) All streets identified on the conceptual development plan as well as future neighborhood streets not yet identified, shall be Local Streets and shall be based on the Local Street standards identified herein on the Typical Road Cross Sections incorporated into this Ordinance as "Exhibit C". Final selection of specific road cross sections shall be set at each phase site plan approval and will be based on the standards. Structural criteria for these road sections will be specified by the Project engineer and will be generally consistent with the most comparable City of Wildwood street standards.
- 3) Walking is considered a fundamental mode of transportation and shall be considered in designing the local street network. To encourage the pedestrian friendly nature of the Project streets may include the following traffic calming measures incorporated where appropriate:
  - a) On-street parking
  - b) Street trees to create shade
  - c) Median plantings
  - d) Varied paving patterns and materials
  - e) Stop signs
  - f) Roundabouts
  - g) Raised pedestrian cross-walks
  - h) Reduced street widths
  - i) Reduced design and traffic speeds

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

C. Parks and Open Space. Wildwood Springs shall maintain a minimum of 25% open space consistent the Amended and Restated Development Order. Open space shall include wetlands, preservation areas, greenspace, and landscape buffers. Open space may include areas such as trails, plazas, courtyards, and other similar public areas. Open space may also include recreation areas and amenities provided said amenities or area is not enclosed with conditioned space. A Community Development District, homeowner's association, adjoining property owners, or other private entity, must maintain all such elements unless such elements are dedicated to the public and such maintenance shall be determined by separate agreement of such dedication. Open space shall not include, rights-of-way (public or private), yards, or lots of record per plat, driveways, off street parking areas, or other impervious surface areas that do not meet the criteria. Additionally, the Project shall adhere to the following principles:

- 1) The parks will be programmed based on community and neighborhood needs, and may include formal and/or informal landscaped and preserve areas, children's play areas, walkways, fountains, community gardens, park benches, and pedestrian-scale lighting. Activity-based facilities such as basketball, tennis, and volleyball courts, swimming pools, clubhouses and restaurants may also be permitted in the neighborhood parks. On-street parking spaces shall count towards parking requirements for recreational facilities.
- 2) The preservation of Fenney Spring head and spring run will be a defining characteristic of the Project. As such, a one hundred and fifty foot (150') buffer shall be maintained around the spring head, as measured from the ordinary high water line, and a fifty foot (50') minimum buffer shall be provided around the spring run, as measured from the ordinary high water line. A fifteen foot (15') minimum, twenty-five foot (25') average buffer shall be provided around the remaining wetlands found on-site.
- 3) Native plants and grasses shall be used within the buffer zone around Fenney Spring head and spring run. The use of fertilizer will be restricted within these buffer zones. A vegetated swale (seep berm) will be allowed around the spring head and in areas of the spring run buffer where concentrated runoff is to occur. This swale will provide for an added measure for water quality treatment. Additionally, a fertilizer-free zone will be created adjacent to all wetlands and ponds throughout the community.
- 4) Enhancing the natural ecological system and developing linkages to these habitats will provide an opportunity to create passive recreational facilities. Through enhanced public access and interpretive signage, these natural habitat areas will be better preserved. The following activities will assist in the development of the springs area:

- a) Protection of open space from incompatible land uses
- b) Maintenance of the most vulnerable ecological communities
- c) Enhancement of public access through pedestrian ways, bicycle paths and waterways.
- d) Educational opportunities through interpretive signage

These activities will assist in educating the public regarding the wetland ecosystem to help ensure the protection of natural open spaces.

- 5) Permitted uses in the open space around Fenney Springs include: community recreation center, dining facility, nature center, sales center (interim use), outdoor patios and verandas, interpretive signage, environmental education exhibits, outdoor pavilions, trails, boardwalks, overlooks, natural amphitheater, picnic areas, and active and passive open fields.

D. Landscaping and Buffers. Landscaping and buffers within the Project shall conform to the following standards:

- 1) No onsite landscaped buffer shall be required between parcels or uses. Perimeter buffers shall consist of the following planting requirements: One (1) eight foot (8') structure tree and three (3) understory trees per each one-hundred feet (100'). External buffers adjacent to existing residential uses shall include three (3) eight foot (8') structure trees and five (5) understory trees per each one-hundred feet (100'). Shrubs are not required in perimeter buffers. All trees shall be provided in caliper inches to be measured six inches (6") above the ground, upon planting, consistent with the Florida Grades and Standards for Nursery Plants and Trees.
- 2) On residential streets, street trees shall be installed as neighborhoods are developed and adjacent homes and structures are built. The selection of tree species will be coordinated by street and will coincide with the official tree species for the City of Wildwood as listed in Table 6-12: Tree Species in the Land Development Regulations. The use of palm trees will be limited to concentrated groupings at entries and as decorative accents in the landscape. Palm trees shall not be allowed in residential front yards with the exception of smaller varieties used as secondary trees or accent shrubs. Street trees are permitted and are encouraged to be placed between the back of curb and sidewalk.
- 3) Median planting may contrast with more formal rows of street trees, and may provide seasonal color and act as a protective separation between traffic lanes. Palm trees may be used for median planting.
- 4) The use of St. Augustine turf grass shall be prohibited for residential yards, unless a drought-tolerant variety is developed. Drought-tolerant and natural grasses (such as Zoysia and Bahia)

will be used in entry features, parkways, parks, and yards. Irrigated Bermuda grass shall be permitted for active recreation areas, ball fields, entry areas, road frontages, and parks. Irrigated turf areas will be limited to residential lots and common areas, entrance ways, road medians, road frontages, community parks, and other key focal features.

E. Lighting. The following principles shall apply to the Project:

- 1) Lighting design in parking lots and pedestrian areas will observe International Dark-Sky Association ("IDA") principals and aim to reduce the adverse effects of light pollution.
- 2) Illumination levels at all property lines created by project lighting shall not exceed one-half (.5) foot candles ("f.c.") when the building or parking areas are located adjacent to external residential areas, and shall not exceed one (1.0) f.c. when abutting other external non-residential properties. All lighting within parking and pedestrian areas will be coordinated with the landscape tree plan to reduce canopy conflicts with proposed or existing trees.
- 3) A lighting time control panel and photocell will be provided on exterior lighting systems (not connected to a structure) to provide automatic system shut-off after ordinary business hours. Full system shut-off shall exclude security lighting elements and street lights.
- 4) Parking area light poles may be placed outside of parking islands as long as the poles are located in an area that is protected or the pole foundation has been designed to accept minimal levels of vehicular impact.

F. Energy and Water Conservation. Equipment and appliances shall meet Energy Star standards consistent with the applicable Conditions of Approval in Section IV, C, Energy, per the Amended and Restated Development Order. New homes shall, at a minimum, be designed to meet the water conservation measures contained in City of Wildwood Ordinance No. 612 and shall also provide water efficient options for homes and landscapes that can assist home owners in meeting Water Star certification standards consistent with the applicable Conditions of Approval in Section IV, D, Public Facilities, per the Amended and Restated Development Order.

G. Mixed-Use Development Standards. Mixed-use development shall be permitted in parcels 1, 2, 3, 4, 12a and 27 of the conceptual development plan. Property within these parcels developed as mixed-use will comply with the standards in Section 4(G) of this Ordinance. Commercial (non-mixed use) development will comply with the standards found in Section 4(H) of this Ordinance. Mixed-use development may include but are not

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000. P&Z Board/ Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

required to be vertically-mixed buildings. Uses permitted in mixed-use areas shall include all uses permitted in the City of Wildwood "Residential/Institutional/Office" (RIO) zoning district and all uses permitted in the City of Wildwood "Commercial Mixed Use" (C-2A) zoning district as listed on Table 3-6 of the Land Development Regulations.

- 1) Site Design
  - a) Building organization and placement will be designed to create and emphasize the view of focal points from the external roadway as well as internal 'main streets'.
  - b) Corner buildings at primary project entrance or high traffic nodes will be designed to visually accentuate vehicular and/or pedestrian experience.
- 2) Mixed-Use development shall adhere to the following setbacks and site development standards:
  - a) Minimum setback from C.R. 468 and U.S. 301: thirty feet (30')
  - b) Minimum front setback: sixteen feet (16') from back of curb
  - c) Minimum rear setback: zero feet (0')
  - d) Minimum side setback: zero feet (0') between adjacent buildings
  - e) Minimum side setback: fifteen feet (15') from face of curb
  - f) Maximum lot coverage: one hundred percent (100%)
  - g) Maximum building height: fifty feet (50')
  - h) Balconies, covered entrances, arches, bay windows, and roof overhangs may encroach into building setbacks.
- 3) Residential development shall adhere to the following setbacks and site development standards:
  - a) Stacked flats (apartments):
    - (i) Minimum setback from C.R. 468 and U.S. 301: thirty feet (30')
    - (ii) Minimum front setback: ten feet (10') from face of curb
    - (iii) Minimum rear setback: zero feet (0')
    - (iv) Minimum side setback: zero feet (0') between adjacent buildings
    - (v) Minimum side setback: ten feet (10') from face of curb
    - (vi) Maximum lot coverage: one hundred percent (100%)
    - (vii) Maximum building height: three (3) stories / forty-five feet (45')
    - (viii) Balconies, covered entrances, arches, bay windows, and roof overhangs may encroach into building setbacks up to three feet (3').

b) Townhomes:

- (i) Minimum setback from C.R. 468 and U.S. 301: thirty feet (30')
  - (ii) Minimum front setback: ten feet (10') from face of curb
  - (iii) Minimum rear setback: zero feet (0')
  - (iv) Minimum side setback: zero feet (0') between adjacent buildings
  - (v) Minimum side setback: five feet (5') from face of curb
  - (vi) Maximum lot coverage: one hundred percent (100%)
  - (vii) Maximum building height: three (3) stories
  - (viii) Parking is required to be rear-loaded or may be located in a common court screened from view from front of building.
  - (ix) Stoops and porches may encroach into front setback up to five feet (5')
  - (x) Balconies, covered entrances, arches, bay windows, and roof overhangs may encroach into building setbacks up to three feet (3').
- c) Single Family:
- (i) Single Family residential shall be permitted within the Mixed-Use parcels in accordance with the Development Standards defined herein below in Section J.

4) Architectural Standards

- a) Building façades will be designed to provide visual interest through detail and ornamentation that is viewed at both the pedestrian level as well as from a distance.
- b) Canopies, awnings, marquees, cornice trim, blade signage, retail awnings signage, eaves, and overhangs may project into sidewalk rights-of-way up to eight (8') feet.
- c) Façades facing a street will have a recognizable base (storefront) and top (cornice), and include an expression line that delineates the transition between the ground floor level and the upper façade.
- d) Finished façades will be provided on each building face facing a public right-of-way (corner lot).
- e) All ground floor façades that face a public street that are designed in an urban village center layout, will have arcades, display windows, entry areas, awnings, or other such features along a minimum of forty percent (40%) of the horizontal length of the façade.
- f) All parapet / roof planes that conceal a flat roof must extend around all sides of a building that are visible from any public street.

- g) Buildings are encouraged to have consistent window expressions visible from the street. Large expanses of glass curtain walls are not permitted. Street side, windowless building elevations are discouraged. Buildings elevations visible from and fronting public streets will express a clear base, middle, and top. Sloping roofs or strong cornice lines are encouraged at strategic locations, such as corners or mid-block entries.
  - h) Building façade fenestration and roof planes will be designed to fully wrap and continue the visual line of the architecture on all sides of the building that front and can be viewed from a public street.
  - i) Architecture should have a minimum of forty percent (40%) transparency on the pedestrian level adjacent to public streets.
- 5) All awnings must meet the following criteria:
- a) Canvas fabric or metal awnings are encouraged. The use of vinyl or vinyl coated fabrics is specifically discouraged. The use of fluorescent colored awnings is specifically prohibited.
  - b) Awnings shall be architecturally coherent across the building in terms of height, size, materials and color so as to provide a unified appearance to an individual building. Awnings shall not be of uneven or unusual shapes. However, a certain amount of diversity in the building façades is desirable and encouraged.
  - c) Backlighting or the internal illumination of awnings is not permitted.
  - d) Awnings shall not be used as the primary signage for any commercial or retail business.
  - e) Awnings shall not cover more than seventy percent (70%) of the primary façade of the individual building, shop or storefront if the frontage exceeds forty feet (40') in width.
  - f) The cumulative effect of individual storefront awnings on a building should be considered in building design. An awning shall reinforce the frame of the storefront and should not cover the piers or the space between the second story building windows and cornice.
  - g) Awnings covering second story windows will conform to the size of the individual windows and will complement the first floor storefront awning in terms of size, materials, height and color, etc.
  - h) The color of the fabric awning shall complement the building's color scheme.
- 6) Pedestrian Standards

- a) All buildings adjacent to public streets shall have a pedestrian entrance facing the street.
  - b) The storefront pedestrian zone shall consist of a minimum sixteen-foot (16') building setback from back of curb, to include an eight-foot (8') pedestrian walkway and a four-foot (4') landscape area either in planter rows or individual tree planters. Storefront pedestrian zones with adjacent on-street parking shall also include an additional two-foot (2') wide pedestrian "step-out" zone between back of curb and the landscaped areas.
  - c) The defined pedestrian route will be kept free of all permanent signage, site furnishing, or other physical obstructions. Site furnishings (e.g., benches, trash receptacles) may be placed within the four-foot (4') landscape area.
- 7) Parking
- a) On-street parallel parking shall be permitted along internal drives and roadways but must be set back a minimum of ten (10') linear feet from any pedestrian crosswalk. On-street parking will count towards satisfying the parking requirements.
  - b) On-street parking located along internal drives and roadways shall be set back a minimum of thirty feet (30') from any roundabout or intersection, as measured from the outside face of the roundabout curb radius. On-street parking will count towards satisfying the parking requirements.
  - c) No on-street parking shall be located along any public right-of-way or roadway internal to the project within one hundred (100') linear feet of the intersection of the project entrance and C.R. 468.
  - d) Where mid-block pedestrian crosswalks are proposed, the crosswalks shall be incorporated into the bump-out planters. The dimensional length of each crosswalk bump-out planter shall be a minimum of twenty-two feet (22'), as measured along the outside edge of the curb. The crosswalk bump-out planter shall consist of a minimum six-foot (6') pedestrian walkway. All parking lots containing forty (40) spaces or more shall have a minimum of two (2) points of vehicular ingress and egress. Small sub-lots containing fewer than forty (40) spaces may have a minimum of one (1) point of vehicular ingress and egress.
- 8) Landscaping Standards
- a) Trees shall be specified and provided in caliper inches to be measured either six inches (6") or twelve inches (12") above the ground, upon planting, consistent with the

1. (d) TIMEED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
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Florida Grades and Standards for Nursery Plants and Trees.

9) Signage

a) Signage design shall comply with City of Wildwood Design District Standards, Chapter 1, and Section J, Signage. In addition, the following standards shall apply:

- (i) Signage will be compatible with the architecture, materials, and composition of the building.
- (ii) Size, shape, color, and location of a sign will complement the building façade and will not be designed so large as to overpower the building. Individual storefront signs will be compatible with other storefronts on the same building in terms of size, design, and placement.
- (iii) Signage shall not obstruct windows, cornices, decorative details, or the expression line of the façade. The expression line refers to a horizontal linear element extending across a façade to differentiate between the base, middle, and top of buildings or to indicate a massing transition. Expression lines may employ elements such as cornices, shading devices, moldings, step backs, or changes in color or material.
- (iv) Signage above the expression line shall be prohibited except:
  - 1. Wall-mounted hanging signs that are decorative and complement the building façade; and
  - 2. Signs that identify a building and are incorporated into the cornice detail.

H. Commercial Development Standards. Commercial (non-mixed use) development of parcels 1, 2, and 26, of the conceptual development plan shall comply with the City of Wildwood Design District Standards, Chapter 1, Section F, Community District, and with the Community Commercial (CC) zoning district standards. Commercial (non-mixed use) development of parcel 27 shall comply with City of Wildwood Design District Standards, Chapter 1, Section D, Highway District, and with the General Commercial-Highway (C-3) zoning district standards. Uses permitted shall include all uses permitted in the City of Wildwood "General Commercial" zoning district as listed on Table 3-6 of the Land Development Regulations. Maximum building height permitted shall be fifty feet (50').

I. Commercial Development Standards for Parcel 21. Commercial development within parcel 21 of the conceptual development plan shall comply with the City of Wildwood Design District Standards, Chapter 1,

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Section F, Community Commercial. The following uses shall be permitted in parcel 21: recreational vehicle ("RV") storage, boat storage, and automobile storage. A minimum ten-foot wide (10') landscaped buffer and six-foot (6') high fence or combination of fence and landscaped berm shall be provided around any RV storage, boat storage, or automobile storage located on parcel 21.

J. Residential Development Standards.

1) Residential development shall comply with the City of Wildwood Design District Standards, Chapter 2 (Residential) with the following exceptions:

- a) The architectural standards, styles, colors and construction details of homes will be ensured through the establishment of Architectural standards administered by an Architectural Review Board (ARB) and or through Codes, Covenants and Restrictions (CC&Rs) as established and maintained by the Developer/Home Owners Association (HOA). The architectural standards shall meet minimum city standards unless otherwise modified herein.
- b) The maximum height for residential units shall be forty-five feet (45').
- c) Variable Front yard setbacks shall only apply to lots seventy feet (70') or greater.
- d) Residential products, lot sizes, setbacks and standards shall be consistent with the following PD design standards defined below.
- e) The typical local residential street right-of-way shall be as depicted on Typical Road Cross Sections included herein as "Exhibit C." Additional road rights-of-way may be required based on specific site conditions but shall be substantially consistent with applicable cross-sections. Final road cross sections will be determined at each phased site plan approval.
- f) Streets will be lined on both sides with sidewalks, street trees and continuous landscaped parkways, unless adjacent to existing natural areas, parks, open spaces and/or are in close proximity to a bike or pedestrian path. In these locations and in areas with lots larger than one half acre (1/2) in size, the sidewalk may be located on one side of the street.
- g) Residential uses shall also be permitted to be oriented on and directly front parks, green space, and/or mews as defined and depicted below without a street frontage; those residential units shall meet the following standards:

- (i) Parking will be rear-loaded in garages, carports, parking pads or in common parking courts located in close proximity to residential units.
  - (ii) Minimum width of a mews-type park shall be thirty-five feet (35'), front façade to front façade.
  - (iii) Pedestrian access to these park/mews oriented units shall be provided to the front entrances from the alley or public right-of-way via sidewalks.
  - (iv) Alleys for residential units fronting mews and without street frontage will be named so that addresses can be assigned. The street number will be required on both front and rear of each home for emergency and public services.
- 2) The following design standards shall apply to all residential development:
- a) Uses permitted within the residential areas shall include all uses permitted in the City of Wildwood "R-4: "Medium-High Density Residential" zoning district (Land Development Code Chapter 3, Table 3-6). Residential-Scale Professional Office uses shall also be permitted within parcels 3, 4, 12, 13, 19, 20 and 26 on the conceptual development plan.
  - b) The maximum densities allowed shall be consistent with those identified in the table depicted on the conceptual development plan, "Exhibit B."
  - c) Accessory dwelling units (i.e. granny flats) shall be a permitted use and shall not count towards residential dwelling units.
  - d) Pedestrian Standards
    - (i) Sidewalks shall be installed on residential streets as neighborhoods are developed and adjacent homes and structures are built.
  - e) Alley Standards
    - (i) Alleys or a common parking court located in close proximity to residential units shall be required for any block containing more than three (3) detached residential lots less than forty feet (40') in width.
    - (ii) Alleys shall be designated as an easement or tract of a minimum of twenty feet (20') in width and a pavement width of a minimum of ten (10') feet.
  - f) Residential Design Standards
    - (i) General Standards Single-family (Attached & Detached)
      - 1. Air conditioning (A/C) units shall not be located in the front yard. A/C units shall be placed behind the front façade of each

- structure a minimum of fifteen feet (15') behind the front setback and screened from view from public streets.
- 2. Sketches of typical lots are provided herein as "Exhibit D."
- 3. Lot Standards established below in sections 4.J.f.ii through 4.J.f.ix of this Ordinance will govern in the event of conflict between typical lots schematic contained in "Exhibit D."
- (ii) Single-family attached residential (Townhomes)
  - 1. Minimum lot width: fifteen feet (15')
  - 2. Minimum lot depth: fifty feet (50')
  - 3. Minimum lot size: seven hundred and fifty square feet (750 SF)
  - 4. Minimum living area: one thousand square feet (1,000 SF)
  - 5. Minimum front setback: five feet (5')
  - 6. Minimum side street setback: ten feet (10')
  - 7. Minimum side yard setback: zero feet (0') or five feet (5') on end unit
  - 8. Minimum rear yard setback: five feet (5')
  - 9. Units between fifteen feet (15') and twenty-eight feet (28') in width shall be two-story except end units may be one-story provided the minimum building (unit) width is twenty-four feet (24'); Units larger than twenty-eight feet (28') in width may be one story.
  - 10. Parking shall be provided on lot in rear-loaded garages, carports, parking pads, or in proximate shared parking areas provided in the front or rear of unit.
  - 11. Front loaded parking shall be permitted with the following restrictions:
    - a. Single Car Garage – Lot/Unit width equal to or greater than twenty – two feet (22')
    - b. Double (2) Car Garage – Lot/Unit width equal to or greater than twenty-eight feet (28')
    - c. Front Garage Set back twenty feet (20'); and two foot (2') setback from main façade.
  - 12. Maximum of six (6) units per building.
  - 13. Building Separation shall be permitted at a minimum of ten feet (10') between structures.

14. Maximum height: three and one-half (3-1/2) stories
  15. Maximum building lot coverage: ninety percent (90%)
  16. Balconies, porches, stoops, bay windows and roof overhangs may encroach upon front setback and corner lot side setback up to three feet (3'). Balconies and roof overhangs may encroach upon rear setback.
  17. On-street parking shall be permitted to meet parking requirements.
  18. Townhomes shall adhere to the following minimum building separations:
    - a. Front to Front: thirty-five feet (35')
    - b. Front to Side: twenty-five feet (25')
    - c. Rear to Side: thirty feet (30')
    - d. Garage Door to Garage Door: thirty feet (30')
    - e. Side to Side: ten feet (10')
- (iii) Single-family attached residential (Paired Homes)
1. Minimum lot width: eighteen feet (18')
  2. Minimum lot depth: sixty feet (60')
  3. Minimum living area: one thousand square feet (1,000 SF)
  4. Minimum front setback: ten feet (10')
  5. Minimum front porch setback: five feet (5')
  6. Minimum rear setback: five feet (5')
  7. Minimum side yard setback: zero feet (0') or five feet (5')
  8. Minimum building separation shall be ten feet (10') between structures.
  9. Minimum side street set back: ten feet (10')
  10. Parking shall be provided on lot in rear-loaded garage, carports, parking pads, or in proximate shared parking areas provided in front or rear of unit.
  11. Front loaded parking shall be permitted with the following restrictions:
    - a. Single Car Garage – Lot/Unit width equal to or greater than twenty – two feet (22')
    - b. Double (2) Car Garage – Lot/Unit width equal to or greater than twenty-eight feet (28')

- c. Front Garage Set back twenty feet (20'); and two foot (2') setback from main façade
- 12. Maximum height: three (3) stories/floors
- 13. Maximum building lot coverage: eighty-five percent (85%)
- 14. Balconies, porches, stoops, bay windows and roof overhangs may encroach upon front setback and corner lot side setback up to three feet (3'). Balconies and roof overhangs may encroach upon rear setback.
- 15. On-street parking shall be permitted to meet parking requirements.
- (iv) Single-family detached residential (Cottage Homes)
  - 1. Minimum lot width: twenty-three feet (23')
  - 2. Minimum lot depth: sixty feet (60')
  - 3. Minimum lot size: thirteen-hundred and eighty square feet (1,380 SF)
  - 4. Minimum living area: one thousand square feet (1,000 SF)
  - 5. Minimum front setback: ten feet (10')
  - 6. Minimum front porch setback: five feet (5')
  - 7. Minimum side yard setback: three and one-half feet (3.5')
  - 8. Minimum seven feet (7') between structures excluding garages
  - 9. Minimum side yard setback for garage: zero feet (0') or three and one-half feet (3.5')
  - 10. Minimum side street setback: ten feet (10')
  - 11. Minimum rear yard setback: five feet (5')
  - 12. Parking to be on lot in rear-loaded garages, carports or parking pads, or in proximate shared parking areas.
  - 13. Maximum height: thirty-five feet (35') / three (3) stories
  - 14. Maximum lot coverage: ninety percent (90%)
  - 15. Balconies, porches, stoops, bay windows and roof overhangs may encroach upon front setback and corner lot side setback up to three feet (3'). Balconies and roof overhangs may encroach upon rear setback.
  - 16. On-street parking shall be permitted to meet parking requirements.
- (v) Single-family detached residential (Bungalow Homes)

1. Minimum lot width: forty feet (40')
  2. Minimum lot depth: seventy feet (70')
  3. Minimum lot size: twenty-eight hundred square feet (2,800 SF)
  4. Minimum living area: one thousand two hundred square feet (1,200 SF)
  5. Minimum front setback: ten feet (10')
  6. Minimum front porch setback: five feet (5')
  7. Minimum front loaded garage setback: twenty feet (20') and two foot (2') setback from main façade
  8. Minimum side yard setback: four feet (4')
  9. Minimum eight feet (8') between structures excluding garages
  10. Minimum side street setback: ten feet (10')
  11. Minimum rear yard setback: five feet (5')
  12. Minimum side yard setback for garage: zero feet (0') or four feet (4')
  13. Maximum height: thirty five feet (35')/three (3) stories
  14. Maximum lot coverage: eighty-five percent (85%)
  15. Balconies, porches, stoops, bay windows and roof overhangs may encroach upon front setback and corner lot side setback up to three feet (3'). Balconies and roof overhangs may encroach upon rear setback.
  16. Pool/screen setbacks: rear setback for pool deck is minimum five feet (5'). Rear setback for screen enclosure shall be five feet (5').
- (vi) Single-family detached residential (Village Homes, Park Homes, and - Manor Homes)
1. Minimum lot width: forty-five feet (45')
  2. Minimum lot depth: eighty feet (80')
  3. Minimum lot size: thirty-six hundred square feet (3,600 SF)
  4. Minimum living area:
    - a. 45 $\geq$ -foot Village Home lot - one thousand square feet (1,000 SF)
    - b. 50 $\geq$ -foot Village Home lot - twelve hundred square feet (1,200 SF)
    - c. 60 $\geq$ -foot Park Home lot - sixteen hundred square feet (1,600 SF)
    - d. 70 $\geq$ -foot Manor Home lot - two thousand square feet (2,000 SF)
  5. Minimum front setback: fifteen feet (15')

6. Minimum front porch setback: ten feet (10')
  7. Minimum front loaded garage setback: Twenty (20') feet and two foot (2') setback from main façade
  8. Minimum side yard setback: five feet (5')
  9. Minimum ten feet (10') between structures excluding garages
  10. Minimum side street setback: fifteen feet (15')
  11. Minimum rear yard setback: five feet (5')
  12. Minimum side setback for garage: zero feet (0') or five feet (5')
  13. Maximum height: thirty-five feet (35')/three (3) stories
  14. Maximum lot coverage: eighty-five percent (85%)
  15. Balconies, porches, stoops, bay windows and roof overhangs may encroach upon setbacks by up to three feet (3').
  16. Pool/screen setbacks: rear setback for a pool deck is a minimum of five feet (5'). Rear setbacks for screen enclosures shall be five feet (5').
  17. Driveway setback: minimum two feet (2') from side yard setback or zero feet (0') if a shared driveway.
- (vii) Single-family detached residential (Estate Homes)
1. Minimum lot width: eighty-five feet (85')
  2. Minimum lot depth: one hundred feet (100')
  3. Minimum lot size: eighty-five hundred and fifty square feet (8,500 SF)
  4. Minimum living area: twenty-five hundred square feet (2,500 SF)
  5. Minimum front setback (main façade): twenty-five feet (25')
  6. Minimum porch setback: fifteen feet (15')
  7. Minimum garage setback (front-loaded): five feet (5') setback from main façade
  8. Minimum side yard setback: seven and one-half feet (7.5')
  9. Minimum ten feet (10') between structures
  10. Minimum side street setback: fifteen feet (15')
  11. Minimum rear yard setback: five feet (5')
  12. Maximum height: forty-five feet (45')/three (3) stories
  13. Maximum lot coverage: sixty percent (60%)

14. Balconies, porches, stoops, bay windows and roof overhangs may encroach upon front and corner lot side setback up to three feet (3'). Balconies and roof overhangs may encroach upon rear setback.
15. Pool/screen setbacks: rear setback for a pool deck is a minimum of ten feet (10'). Rear setbacks for screen enclosures shall be ten feet (10').

(viii) Live/Work Units

1. Live/work units shall be permitted in parcels 1, 2, 3, 4, 12, 13, 19, 20, 26, and 27.
2. Live/work units may be composed of a primary residence, studio/garage apartment and include an office.
3. Live/work units may be attached or detached.
4. Live/work units may be in the form of both attached and detached standards defined in items F2-F7 above with the additional restrictions defined below.
5. Minimum lot width: twenty-two feet (22')
6. Minimum lot depth: sixty feet (60')
7. Minimum lot size: Thirteen-hundred and twenty square feet (1,320 SF)
8. Minimum living areas: one-thousand square feet (1,000 SF) for primary residence and studio/garage
9. Minimum office: four hundred square feet (400 SF)
10. Minimum front yard setback: ten feet (10')
11. Minimum porch setback: five feet (5')
12. Minimum side street setback: ten feet (10')
13. Minimum side yard setback: zero feet (0') or five feet (5') on end unit
14. Rear access is recommended
15. Minimum rear setback: five feet (5')
16. Balconies, covered entrances, bay windows and roof overhangs may encroach into the front setback up to three feet (3').
17. Signage shall be permitted. Signage shall be a wall mount or hanging placard sign of a maximum of two feet (2') in height and two feet (2') in width.

(ix) General Site Development Standards: Multi-Family Attached (stacked flats)

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

1. Minimum lot area: fifteen thousand square feet (15,000 SF)
2. Minimum living area: five hundred square feet (500 SF)
3. Minimum lot width: eighty-five feet (85')
4. Maximum height: forty-five feet (45')/ three (3) stories
5. Maximum lot coverage: eighty percent (80%)
6. Setbacks:
  - a. Minimum front yard setback: fifteen feet (15')
  - b. Minimum side yard setback: ten feet (10')
  - c. Minimum rear yard setback: fifteen feet (15')
7. Minimum building separations:
  - a. Front to Front: thirty feet (30')
  - b. Rear to Rear: thirty five feet (35')
  - c. Side to Side: fifteen feet (15')
  - d. Front to Side: twenty feet (20')
  - e. Rear to Side: twenty feet (20')

K. Community Facilities Development Standards. Community facilities shall be permitted in parcels 1, 2, 3, 4, 12, 26 and 27 on the conceptual development plan. Uses permitted in these parcels shall include fire, police, and child care facilities; office, service, and retail uses; church and other civic uses. Police and fire facilities shall be constructed per the City of Wildwood Police Department standards and Sumter County Fire Department standards, respectively, and shall adhere to the Wildwood Springs architectural standards. Any other community facilities shall adhere to the applicable design district standards.

L. Maintenance of Common Areas. Maintenance and repair of structures, lawn mowing, and landscaping maintenance of all common areas within the Project shall be owned and maintained by the property owners association and/or a Community Development District (CDD), at no cost or obligation to the City. The developer/owner shall create Guidelines for the maintenance of common areas.

M. Enforcement of Rules and Regulations. For the maintenance of the common areas referenced in Section L above, the applicable provisions in the Guidelines: (i) shall be made applicable to the commercial and the residential segments of the Project; and (ii) shall be submitted to the City of Wildwood for reference, prior to a certificate of occupancy being issued for completed improvements.

1. (d) TIMEED ITEM/S Request for amendment to Ordinance #922 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000. P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

- N. Impact Fees. The Project shall be subject to all impact fees applicable at the time of permitting. All impact fees are to be paid as required in each applicable ordinance. Proof of Sumter County impact fees paid shall be provided to the City of Wildwood. Any impact fees adopted by the City of Wildwood, Sumter County or the Sumter County School Board prior to issuance of building permits shall also be applicable to the Project.
  
- O. Expiration of Planned Development Agreement. Site Development must begin within the Planned Development within 60 months after the final adoption of the Planned Development Agreement. Once the construction of any on-site infrastructure has commenced the Project shall be vested. If no site development has started on the approved Planned Development within the allotted time frame, the City within 60 days shall notify the Developer of the pending expiration of the Planned Development Agreement. The applicant may request an extension or the Planned Development shall lapse and be of no further effect. If the Planned Development lapses, the City Commission may extend the Planned Development Agreement for periods of up to six months provided the Applicant can show good cause why said development was delayed.

PASSED AND ORDAINED in regular session of the City Commission of the City of Wildwood, Sumter County, Florida, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

ATTEST: \_\_\_\_\_  
Joseph Jacobs, City Clerk

\_\_\_\_\_  
ED WOLF, MAYOR

First Reading: \_\_\_\_\_

Second Reading: \_\_\_\_\_

Approved as to Form:

\_\_\_\_\_  
Jerri A. Blair, City Attorney

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

**Ordinance No. O2011-18**

**Exhibit A**

**Legal Description**

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board/ Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

### LEGAL DESCRIPTION

The East 1/2 of the East 1/2 and the Southeast 1/4 of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Southwest 1/4 of the Northeast 1/4 of Section 31, Township 19 South, Range 23 East, Sumter County, Florida.

AND

The Northwest 1/4 of the Southeast 1/4 of the Northwest 1/4 of Section 31, Township 19 South, Range 23 East, Sumter County, Florida.

AND

The Southwest 1/4 of the Northwest 1/4 of the Northeast 1/4 and the East 1/2 of the Northeast 1/4 of the Northwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of the Northeast 1/4 and the South 1/2 of the Southwest 1/4 of the Northeast 1/4 and the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southeast 1/4 of the Northwest 1/4 and the South 1/2 of the Southeast 1/4 of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 and the North 1/2 of the Southeast 1/4 of the Southwest 1/4 and the Northwest 1/4 of the Southeast 1/4 and the Northwest 1/4 of the Northwest 1/4 of the Northeast 1/4 all in Section 31, Township 19 South, Range 23 East, Sumter County, Florida.

AND

The South 325 yards of the Northeast 1/4 of the Northeast 1/4 and the North 1/2 of the Northeast 1/4 of the Southeast 1/4 and the Northwest 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Northeast 1/4 and the Northwest 1/4, LESS the Northeast 1/4 of the Northeast of the Northwest 1/4; and the North 1/2 of the Southwest 1/4 and the Southwest 1/4 of the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4, LESS 5 acres in the Northwest corner and LESS Begin at the Northwest corner of the Northwest 1/4 of the Northeast 1/4, run South 466 feet 8 inches for point of beginning, thence run South 210 feet, thence East 210 feet, thence North 210 feet, thence West 210 feet to the point of beginning; all in Section 32, Township 19 South, Range 23 East, Sumter County, Florida.

AND

The Southwest 1/4 of the Northwest 1/4 and the North 1/2 of the Southwest 1/4 and the Southeast 1/4 of the Southwest 1/4 and the South 1/2 of the Southeast 1/4 of the Northwest 1/4, all in Section 33, Township 19 South, Range 23 East, Sumter County, Florida.

LESS Road Right-of-Ways lying within the above described parcels.

And LESS those parcels described in Deed to Sumter County, Florida recorded in O.R. Book 950, Page 54, Public Records of Sumter County, Florida.

TOGETHER WITH

The North 330 feet of the Southwest 1/4 of the Southwest 1/4 of Section 33, Township 19 South, Range 23 East, Sumter County, Florida.  
Less any portion thereof claimed by Sumter County, Florida, for the maintenance of County Road 505.

TOGETHER WITH

The Northeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 19 South, Range 23 East, Sumter County, Florida, Less the North 278.68 feet of the West 163.00 feet of the Northeast 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 19 South, Range 23 East, Sumter County, Florida; Less the right of way for County Road No. 468 across the North side thereof.

TOGETHER WITH

The Southwest Quarter of the Southwest Quarter of the Southeast Quarter of Section 30, Township 19 South, Range 23 East, Sumter County, Florida; Less right of way for Highway 468.

AND

From the South Quarter corner of Section 30, Township 19 South, Range 23 East, Sumter County, Florida, run North 00 degrees 07 minutes 02 seconds West along the East line of the Southwest Quarter of said Section 30, a distance of 34.05 feet to the North right-of-way of Highway 468 and the Point of Beginning; thence South 89 degrees 54 minutes 25 seconds West 942.29 feet to the intersection of the North right-of-way of Highway 468 and the Southeasterly right-of-way of Highway 301; thence by the Southeasterly right-of-way of Highway 301, along a curve to the left having a radius of 1486.18 feet, 1022.51 feet to a point; thence run North 89 degrees 58 minutes 05 seconds East 162.41 feet; thence run South 00 degrees 07 minutes 02 seconds West 630.01 feet to the Point of Beginning.

LESS that portion conveyed to the State of Florida Department of Transportation by Deed recorded June 25, 1990 in Official Records Book 401, Page 26, described as follows:

Commence at the Southeast corner of the Southwest Quarter of Section 30, Township 19 South, Range 23 East, Sumter County, Florida; run North 0 degrees 02 minutes 01 seconds West along the East line of said Southwest Quarter a distance of 33.65 feet to the Northerly existing right-of-way line of County Road 468; thence North 89 degrees 59 minutes 20 seconds West along said Northerly right-of-way line 942.26 feet to the intersection of said Northerly right-of-way line and the Southeasterly existing right-of-way line of State Road 35 (U.S. 301) for the Point of Beginning, said point being the beginning of a curve along State Road 35 concave Northwesterly and having a radius of

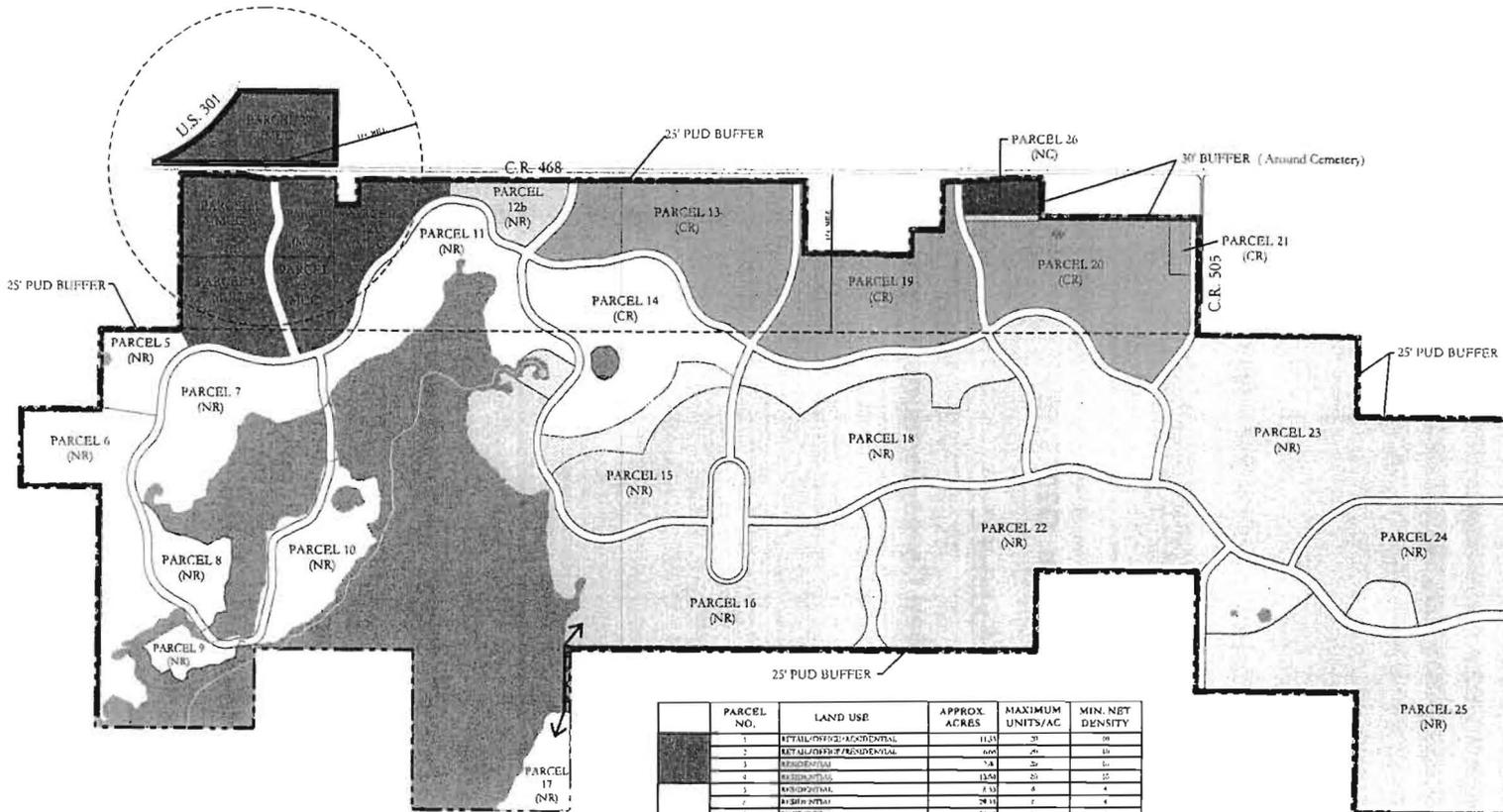
1. (d) TITLED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. 0201-1-18 for first reading

1482.70 feet and a chord bearing of North 69 degrees 34 minutes 18 seconds East; thence run Northeasterly along the arc of said curve through a central angle of 02 degrees 25 minutes 58 seconds a distance of 62.96 feet for the end of said curve; thence, departing the Southeasterly existing right-of-way line of State Road 35, South 01 degrees 26 minutes 29 seconds West 21.99 feet to the Northerly existing right-of-way line of County Road 468; thence North 89 degrees 59 minutes 20 seconds West along said Northerly right-of-way line 58.44 feet to the Point of Beginning.

Altogether Containing 1,047.51 acres more or less

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

**Ordinance No. O2011-18**  
**Exhibit B**  
**Conceptual Development Plan**



	PHASE 1 (ENDS 2015)	PHASE 2 (ENDS 2017)	PHASE 3 (ENDS 2020)	TOTAL
RETAIL (SQ)	10,000	10,000	60,000	80,000
OFFICE (SQ)	0	10,000	0	10,000
SINGLE FAMILY DWELLING UNITS	800	900	210	2,000
MULTIFAMILY DWELLING UNITS	150	300	550	1,000

PARCEL NO.	LAND USE	APPROX. ACRES	MAXIMUM UNITS/AC	MIN. NET DENSITY
1	RETAIL/OFFICE/ACCIDENTAL	11.51	31	10
2	RETAIL/OFFICE/RESIDENTIAL	6.60	26	10
3	RESIDENTIAL	2.8	20	10
4	RESIDENTIAL	13.54	25	10
5	RESIDENTIAL	6.51	8	4
7	RESIDENTIAL	28.11	1	4
8	RESIDENTIAL	24.47	1	4
8	RESIDENTIAL	8.25	1	4
10	RESIDENTIAL	4.34	0	4
10	RESIDENTIAL	17.12	0	4
11	RESIDENTIAL	28.17	12	5
12	RESIDENTIAL	12.16	20	10
12	RESIDENTIAL	2.42	23	4
13	RESIDENTIAL	7.14	20	4
14	RESIDENTIAL	10.01	12	5
15	RESIDENTIAL	11.29	25	4
16	RESIDENTIAL	10.00	20	4
17	RESIDENTIAL	7.20	20	4
17	COMMERCIAL/RESIDENTIAL	7.20	0	4
18	RESIDENTIAL	17.20	20	4
19	RESIDENTIAL	13.04	25	5
20	RESIDENTIAL	10.00	20	4
21	COMMERCIAL/RESIDENTIAL	1.00	0	4
22	RESIDENTIAL	14.00	20	4
23	RESIDENTIAL	11.43	30	4
24	RESIDENTIAL	11.44	21	4
25	RESIDENTIAL	12.32	20	4
25	RESIDENTIAL/COMMERCIAL	2.10	20	4
26	RETAIL/COMMERCIAL/RESIDENTIAL	11.00	20	10
UNLTD		4.00		
WETLAND PRESERVATION		17.17		
PLANTATION BUFFER & WETLAND		2.43		
		25.5		
TOTAL ACREAGE		247.21		

NOTE: LAND USE COLORS BASED ON MAXIMUM DENSITY

- NOTES:
- ROAD ALIGNMENTS, PARK BOUNDARIES, AND WETLANDS SHOULD BE TREATED AS CONCEPTUAL AND MAY BE SUBJECT TO CHANGE BASED ON MORE DETAILED SURVEYS, ENVIRONMENTAL CONSTRAINTS, TREE PRESERVATION AND FINAL ENGINEERING. THESE CHANGES WILL NOT CONSTITUTE A SUBSTANTIAL CHANGE TO THE PUD.
  - THE DEVELOPMENT PROGRAM MAY BE MODIFIED ACCORDING TO THE DRI DEVELOPMENT ORDER LAND USE CONVERSION MATRIX, WITHOUT REQUIRING APPROVAL BY THE CITY COMMISSION. ALL STREETS WITHIN THE COMMUNITY WILL BE NEIGHBORHOOD LOCAL CONSISTENT WITH CROSS-SECTIONS DEPICTED ON SHEET 10

**LEGEND**

- WETLANDS
- EXIST. WETLANDS
- PARCEL
- PARK

DATE: AUGUST 2011  
 PREPARED BY: R.D.  
 CHECKED BY: R.D.  
 APPROVED BY: NT

SCALE: AS SHOWN

WILLOW SPRINGS  
 PLANNED DEVELOPMENT

CITY OF WILLOW SPRINGS  
 Florida  
 SHEET TITLE

CONCEPTUAL DEVELOPMENT PLAN

SHEET 18

POPLOS & BENNETT

1. (d) TIMED ITEMS Request for amendment to Ordinance #822 concerning the PUD zoning in proposed Ordinance No. 02011-18 for first reading

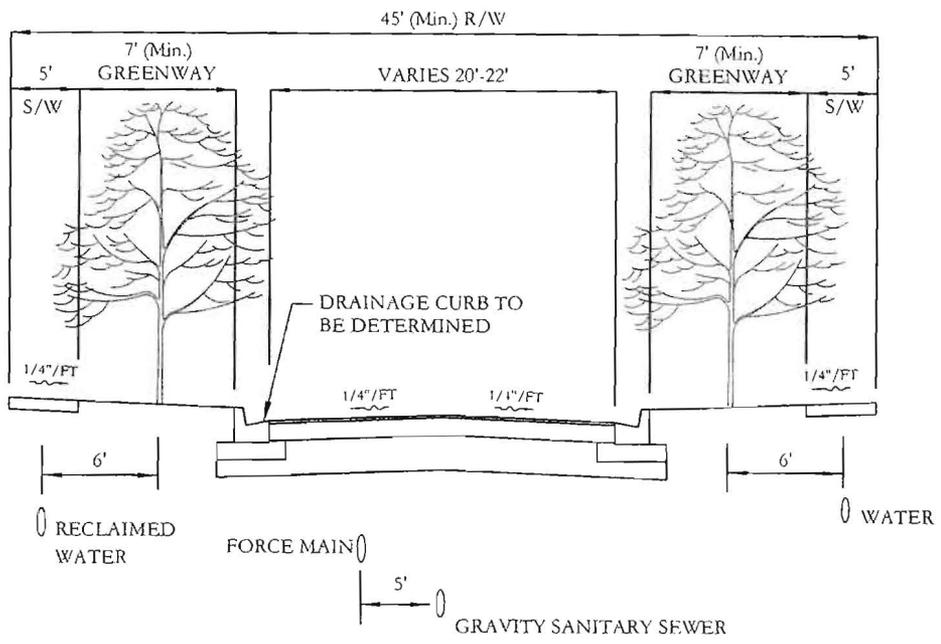
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**Ordinance No. O2011-18**

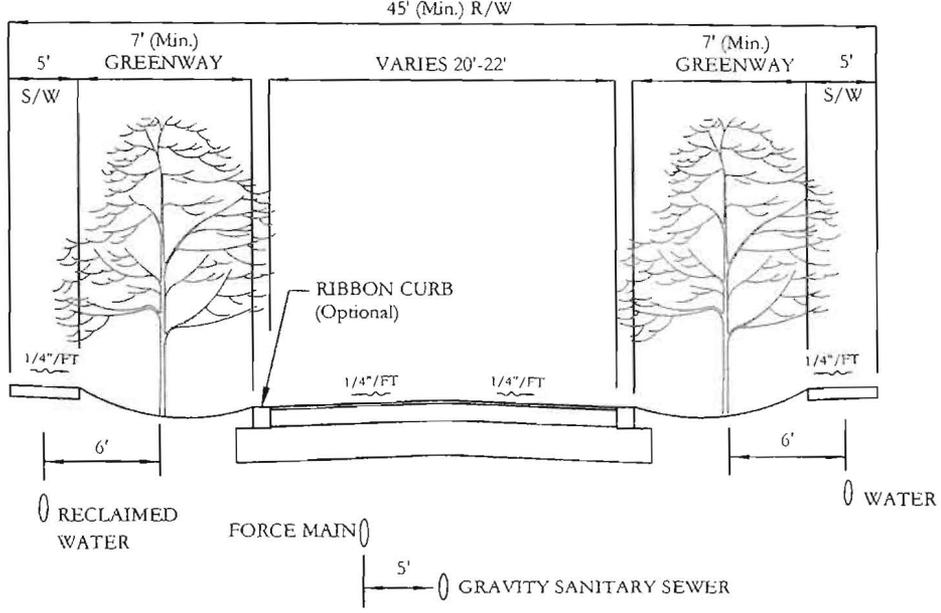
**Exhibit C**

**Typical Road Cross-Sections**

1 (d) TILED ITEMS Request for amendment to Ordinance #822 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



TYPICAL ROADWAY



ALTERATIVE ROADWAY W/RIBBON CURB AND SWALE

1. NEIGHBORHOOD LOCAL - TYPE 1

50' ROW TYPICAL (VARIES - 45' ROW Minimum)

NOTE:

- EDGE OF PAVEMENT (CURB) TREATMENTS SHALL BE DESIGNED WITH THE TYPES LISTED BELOW. MODIFIED VERSIONS AND DIMENSION OF EACH TYPE ARE PERMISSIBLE AS DESIGNATED BY THE PROJECT ENGINEER UPON EACH PHASE SITE PLAN APPROVAL.
- UTILITY LOCATIONS DEPICTED ARE CONCEPTUAL AND ARE SUBJECT TO FURTHER REFINEMENT BY UTILITY AGREEMENT. HOWEVER, IT IS ACKNOWLEDGED THAT THE UTILITY MAIN LINE LOCATIONS WILL BE LOCATED IN A MANNER SUCH THAT THEY DO NOT CONFLICT WITH THE PLANTER/STREET TREES.

CURB TYPES MAY INCLUDE THE FOLLOWING:

- TYPE 'B' (Truncated Trench)
- TYPE 'D' (Upright Trench)
- TYPE 'E' (Mountable)
- TYPE 'F' (Upright)
- TYPE 'F' MODIFIED (Upright)
- RIBBON CURB (Flat)
- NO CURB (Alley)

TYPICAL ROAD CROSS SECTIONS - NEIGHBORHOOD LOCAL TYPE 1  
 PLANNED DEVELOPMENT

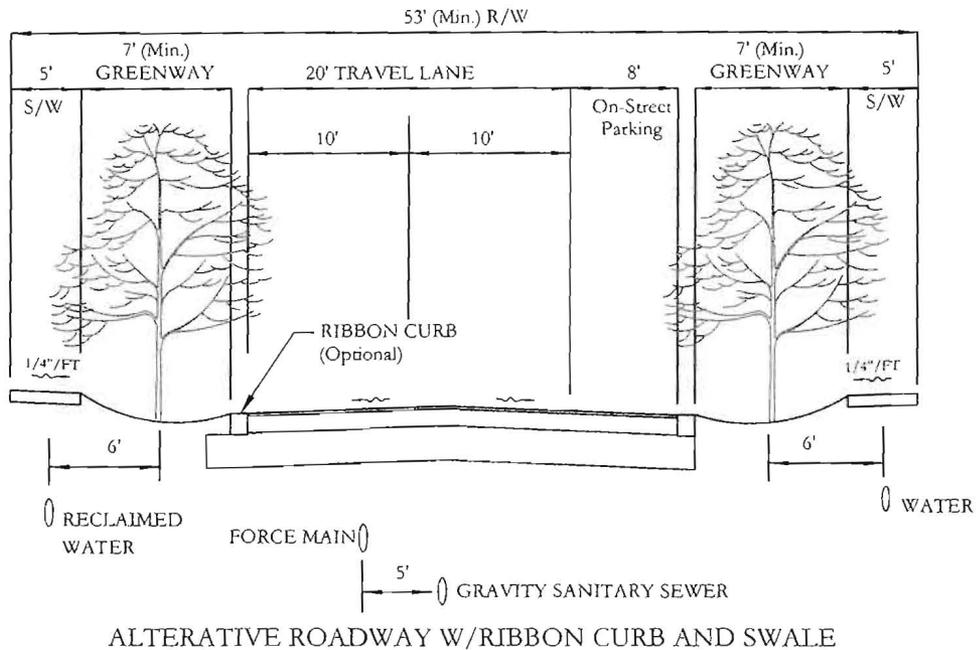
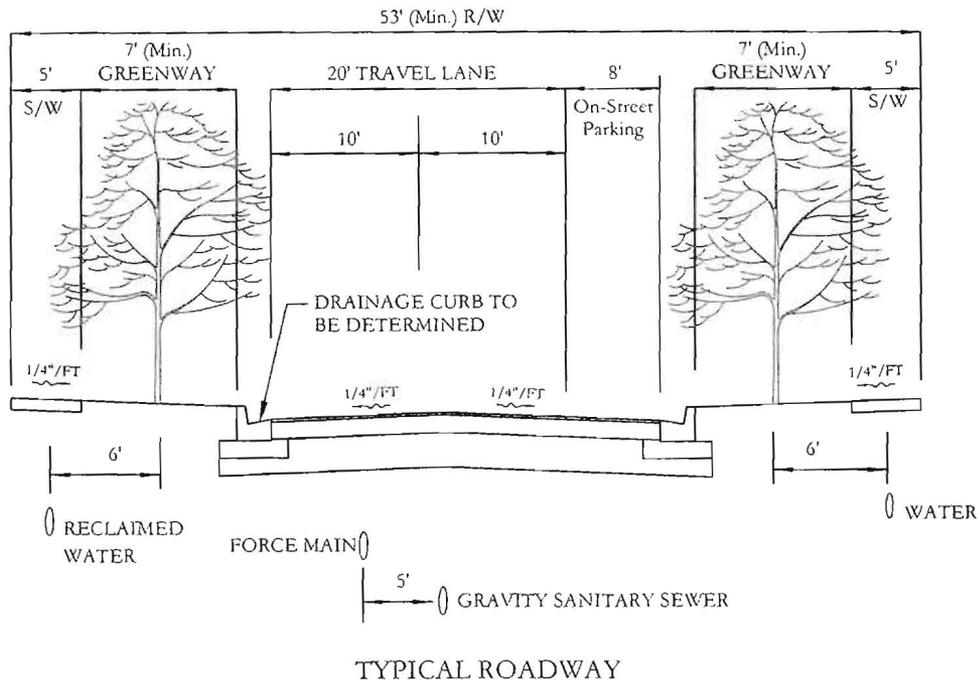
SHEET NO.

WILDWOOD SPRINGS



TYPE 1

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



**2. NEIGHBORHOOD LOCAL - TYPE 2**  
 WITH DESIGNATED ON-STREET PARKING ONE SIDE  
 54' ROW TYPICAL (VARIES - 53' ROW Minimum)

**NOTE:**

- EDGE OF PAVEMENT (CURB) TREATMENTS SHALL BE DESIGNED WITH THE TYPES LISTED BELOW. MODIFIED VERSIONS AND DIMENSION OF EACH TYPE ARE PERMISSIBLE AS DESIGNATED BY THE PROJECT ENGINEER UPON EACH PHASE SITE PLAN APPROVAL.
- UTILITY LOCATIONS DEPICTED ARE CONCEPTUAL AND ARE SUBJECT TO FURTHER REFINEMENT BY UTILITY AGREEMENT. HOWEVER, IT IS ACKNOWLEDGED THAT THE UTILITY MAIN LINE LOCATIONS WILL BE LOCATED IN A MANNER SUCH THAT THEY DO NOT CONFLICT WITH THE PLANTER/STREET TREES.

**CURB TYPES MAY INCLUDE THE FOLLOWING:**

- TYPE 'B' (Truncated Trench)
- TYPE 'D' (Upright Trench)
- TYPE 'E' (Mountable)
- TYPE 'F' (Upright)
- TYPE 'F' MODIFIED (Upright)
- RIBBON CURB (Flat)
- NO CURB (Alley)

TYPICAL ROAD CROSS SECTIONS - NEIGHBORHOOD LOCAL TYPE 2

SHEET NO.

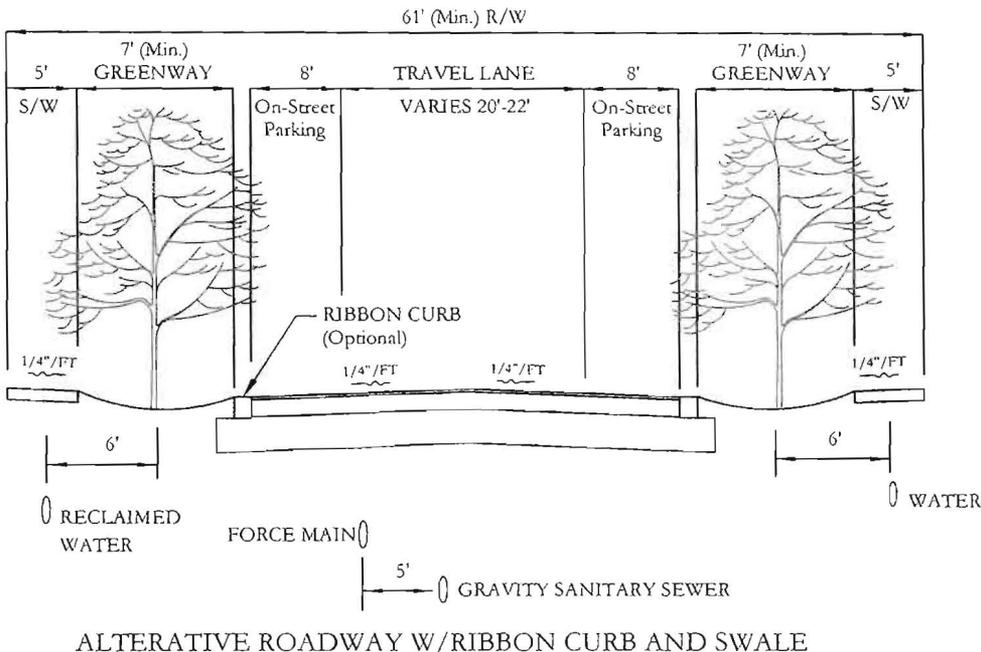
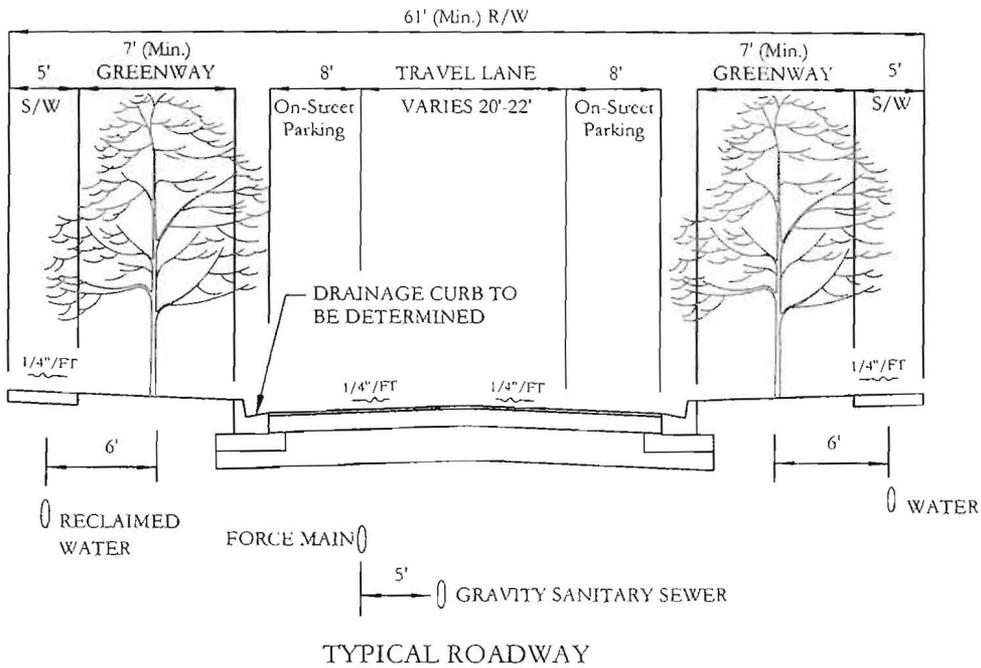
PLANNED DEVELOPMENT

WILDWOOD SPRINGS



TYPE 2

1. (d) TYPED ITEMS Request for amendment to Ordinance #822 concerning the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



ALTERNATIVE ROADWAY W/RIBBON CURB AND SWALE

### 3. NEIGHBORHOOD LOCAL - TYPE 3

WITH DESIGNATED ON-STREET PARKING BOTH SIDES  
 63' ROW TYPICAL (VARIES - 61' ROW Minimum)

**NOTE:**

- EDGE OF PAVEMENT (CURB) TREATMENTS SHALL BE DESIGNED WITH THE TYPES LISTED BELOW. MODIFIED VERSIONS AND DIMENSION OF EACH TYPE ARE PERMISSIBLE AS DESIGNATED BY THE PROJECT ENGINEER UPON EACH PHASE SITE PLAN APPROVAL.
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**CURB TYPES MAY INCLUDE THE FOLLOWING:**

- TYPE 'B' (Truncated Trench)
- TYPE 'D' (Upright Trench)
- TYPE 'E' (Mountable)
- TYPE 'F' (Upright)
- TYPE 'F' MODIFIED (Upright)
- RIBBON CURB (Flat)
- NO CURB (Alley)

TYPICAL ROAD CROSS SECTIONS - NEIGHBORHOOD LOCAL TYPE 3

SHEET NO.

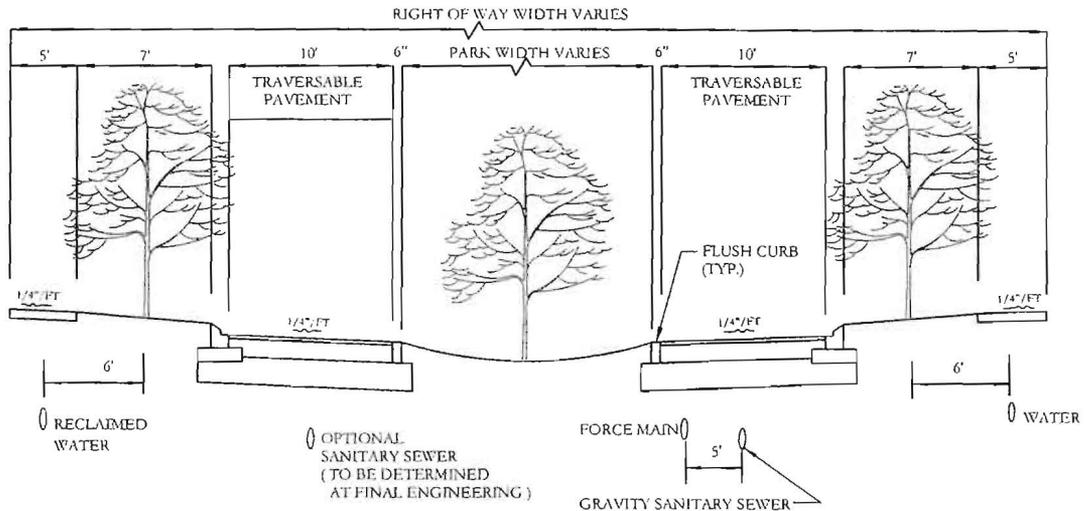
PLANNED DEVELOPMENT

WILDWOOD SPRINGS

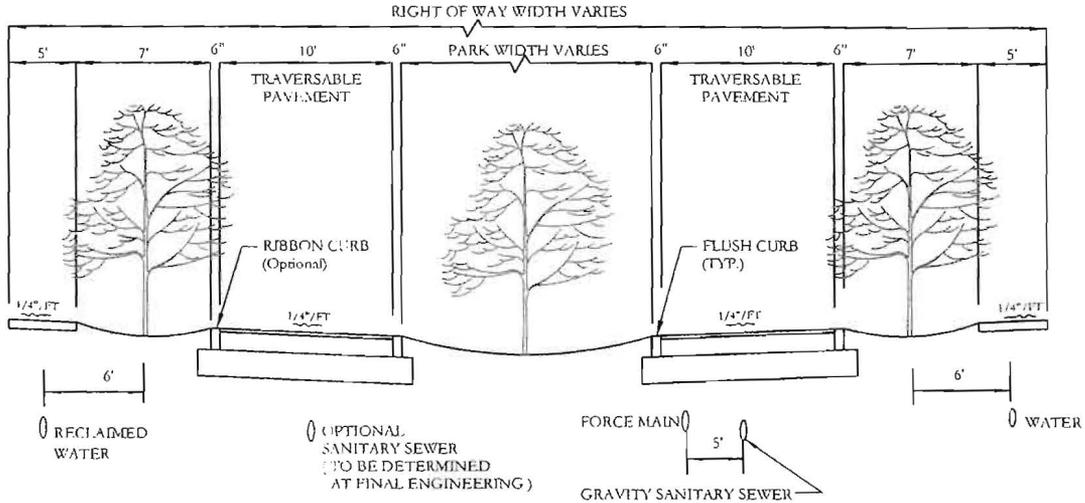


TYPE 3

1. (d) TYPED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. 02011-18 for first reading



TYPICAL ROADWAY



ALTERNATIVE ROADWAY W/RIBBON CURB AND SWALE

#### 4. NEIGHBORHOOD LOCAL - TYPE 4

TYPICAL ONE WAYS WITH MEDIAN SECTION  
 PARKWAY WITHOUT PARKING

NOTE:

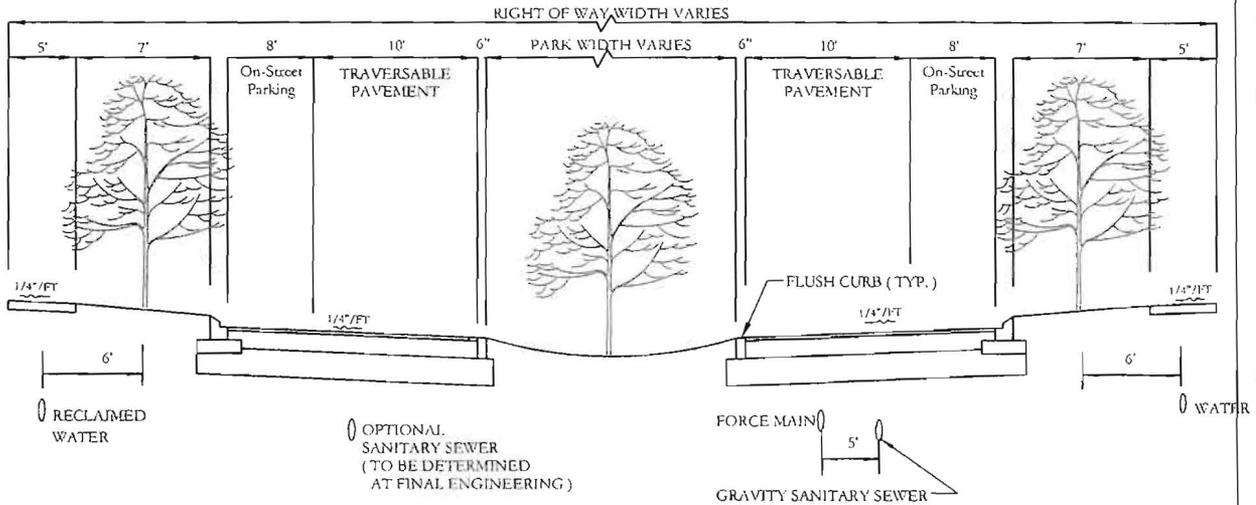
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CURB TYPES MAY INCLUDE THE FOLLOWING:

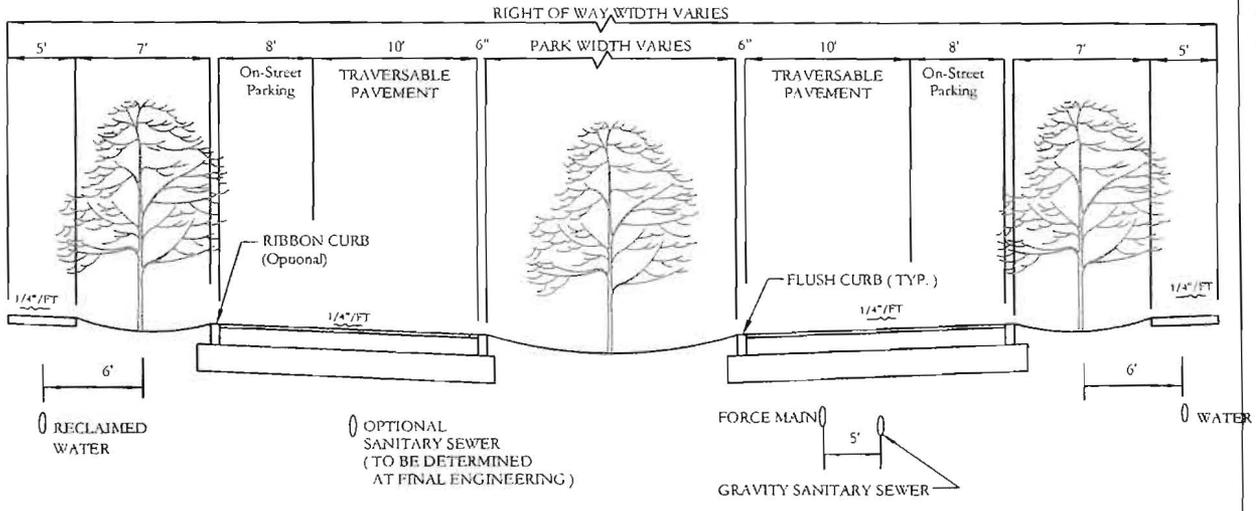
- TYPE 'B' (Truncated Trench)
- TYPE 'D' (Upright Trench)
- TYPE 'E' (Mountable)
- TYPE 'F' (Upright)
- TYPE 'F' MODIFIED (Upright)
- RIBBON CURB (Flat)
- NO CURB (Alley)



1. (d) TIMED ITEMS Request for amendment to Ordinance #822 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



TYPICAL ROADWAY



ALTERNATIVE ROADWAY W/RIBBON CURB AND SWALE

5. NEIGHBORHOOD LOCAL - TYPE 5

TYPICAL ONE WAYS WITH MEDIAN SECTION  
 PARKWAY WITH PARKING

NOTE:

- EDGE OF PAVEMENT (CURB) TREATMENTS SHALL BE DESIGNED WITH THE TYPES LISTED BELOW. MODIFIED VERSIONS AND DIMENSION OF EACH TYPE ARE PERMISSIBLE AS DESIGNATED BY THE PROJECT ENGINEER UPON EACH PHASE SITE PLAN APPROVAL.
- UTILITY LOCATIONS DEPICTED ARE CONCEPTUAL AND ARE SUBJECT TO FURTHER REFINEMENT BY UTILITY AGREEMENT. HOWEVER, IT IS ACKNOWLEDGED THAT THE UTILITY MAIN LINE LOCATIONS WILL BE LOCATED IN A MANNER SUCH THAT THEY DO NOT CONFLICT WITH THE PLANTER/STREET TREES.

CURB TYPES MAY INCLUDE THE FOLLOWING.

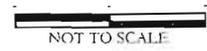
- TYPE 'B' (Truncated Trench)
- TYPE 'D' (Upright Trench)
- TYPE 'E' (Mountable)
- TYPE 'F' (Upright)
- TYPE 'F' MODIFIED (Upright)
- RIBBON CURB (Flat)
- NO CURB (Alley)

TYPICAL ROAD CROSS SECTIONS - NEIGHBORHOOD LOCAL TYPE 5

SHEET NO.

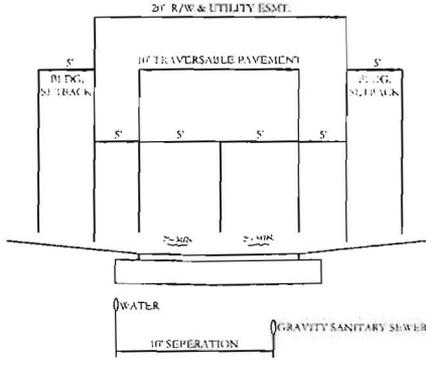
PLANNED DEVELOPMENT

WILDWOOD SPRINGS



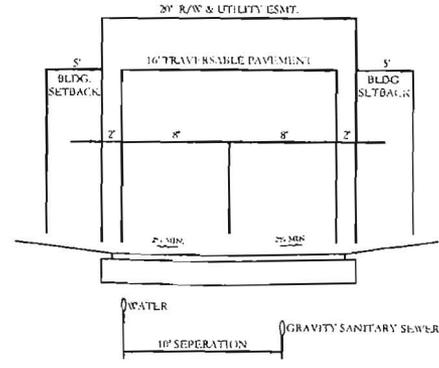
TYPE 5

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



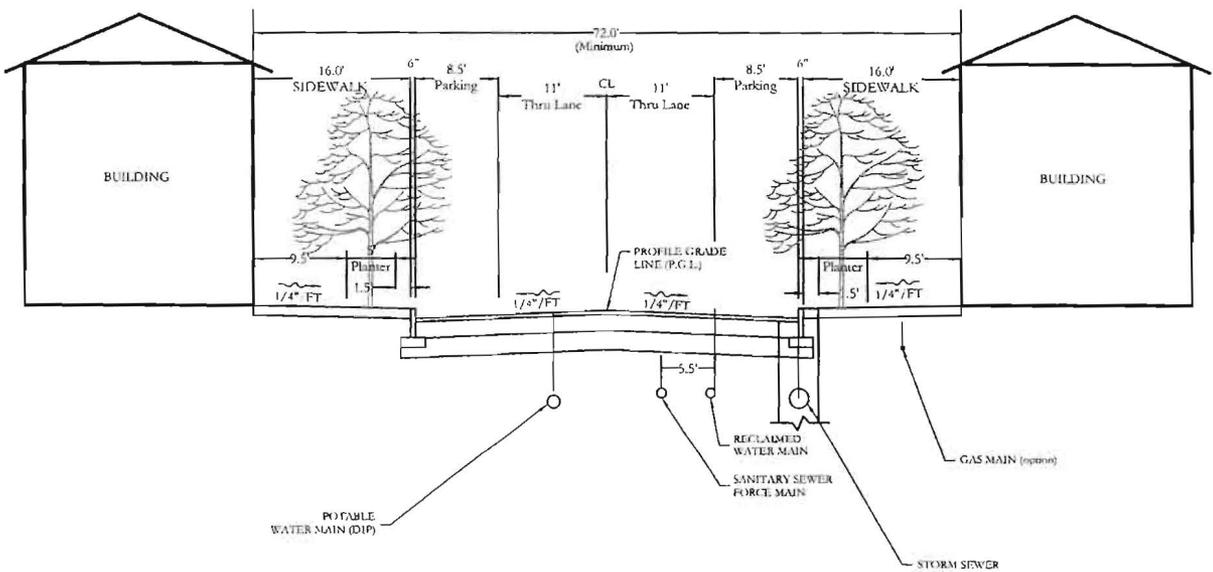
**6. ALLEY- TYPE 1**  
 ONE-WAY ALLEY

- NOTE:  
 1. Water may drain to center of alley with an inverted crown.  
 2. Alley are not required to have curb.



**7. ALLEY- TYPE 2**  
 TWO-WAY ALLEY

- NOTE:  
 1. Water may drain to center of alley with an inverted crown.  
 2. Alley are not required to have curb.



**8. MIXED-USE LOCAL - TYPE 1**

- NOTE:  
 1. EDGE OF PAVEMENT (CURB) TREATMENTS SHALL BE DESIGNED WITH THE TYPES LISTED BELOW. MODIFIED VERSIONS AND DIMENSION OF EACH TYPE ARE PERMISSIBLE AS DESIGNATED BY THE PROJECT ENGINEER UPON EACH PHASE SITE PLAN APPROVAL.  
 2. UTILITY LOCATIONS DEPICTED ARE CONCEPTUAL AND ARE SUBJECT TO FURTHER REFINEMENT BY UTILITY AGREEMENT. HOWEVER, IT IS ACKNOWLEDGED THAT THE UTILITY MAIN LINE LOCATIONS WILL BE LOCATED IN A MANNER SUCH THAT THEY DO NOT CONFLICT WITH THE PLANTER/STREET TREES.

- CURB TYPES MAY INCLUDE THE FOLLOWING:  
 • TYPE 'B' (Truncated Trench)  
 • TYPE 'D' (Upright Trench)  
 • TYPE 'E' (Mountable)  
 • TYPE 'F' (Upright)  
 • TYPE 'F' MODIFIED (Upright)  
 • RIBBON CURB (Flat)  
 • NO CURB (Alley)

TYPICAL ALLEY CROSS SECTIONS - ONE-WAY, TWO WAY AND MIXED USE LOCAL

SHEET NO.

PLANNED DEVELOPMENT

WILDWOOD SPRINGS



NOT TO SCALE

ALLEY

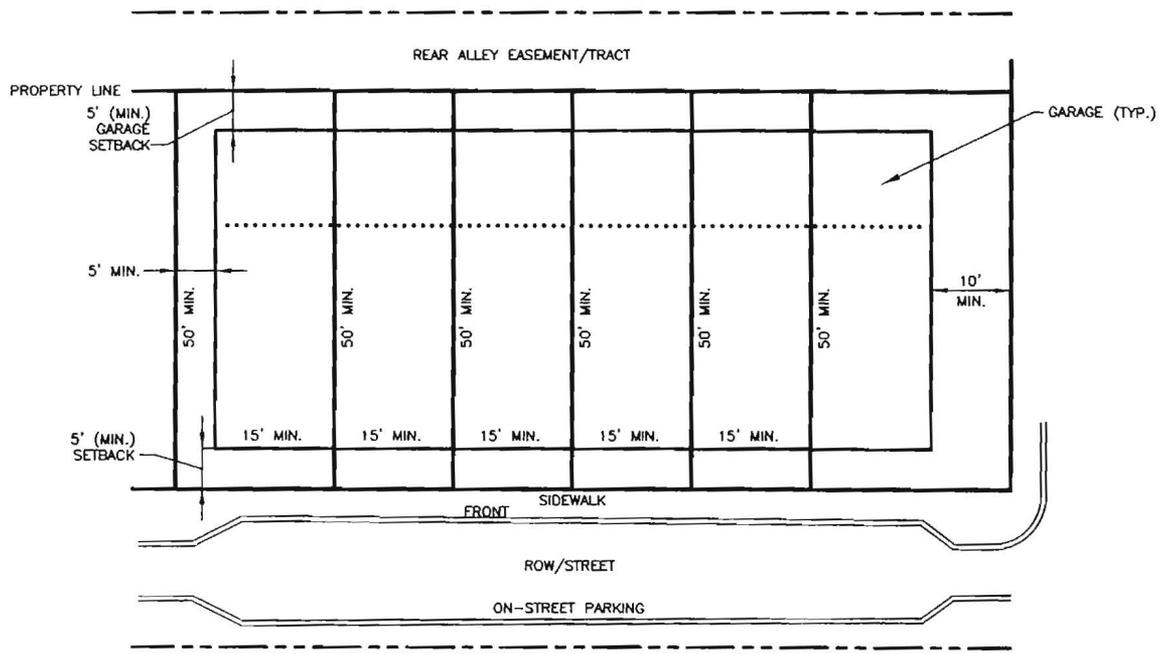
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**Ordinance No. O2011-18**

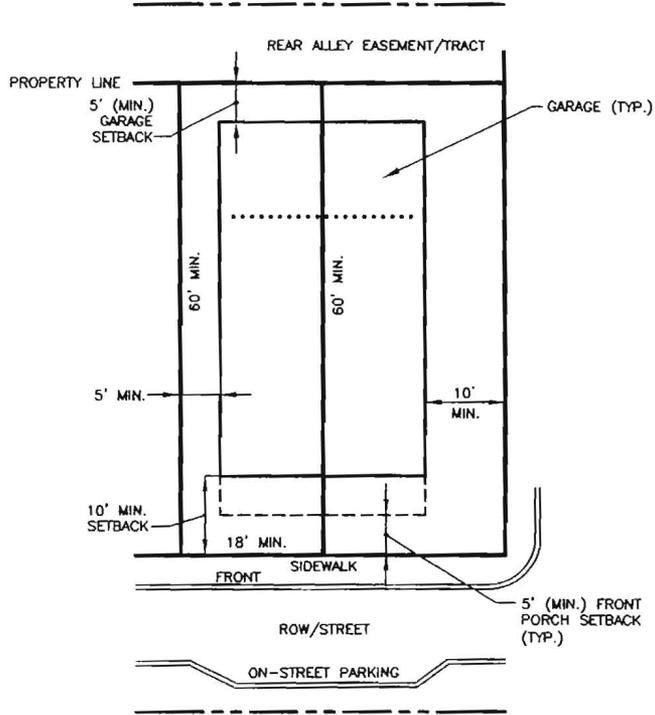
**Exhibit D**

**Typical Lot Sections**

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000. P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



**2.0 SINGLE-FAMILY ATTACHED RESIDENTIAL  
(TOWNHOMES)  
REAR (ALLEY) LOADED**



**2.0 SINGLE-FAMILY ATTACHED RESIDENTIAL  
(PAIRED HOMES)  
REAR (ALLEY) LOADED**

TYPICAL LOTS - 2.0 SINGLE-FAMILY ATTACHED RESIDENTIAL

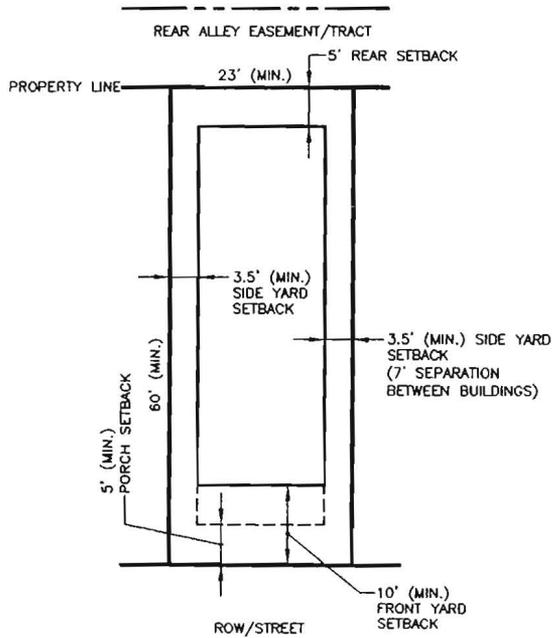
SHEET NO.

PLANNED DEVELOPMENT

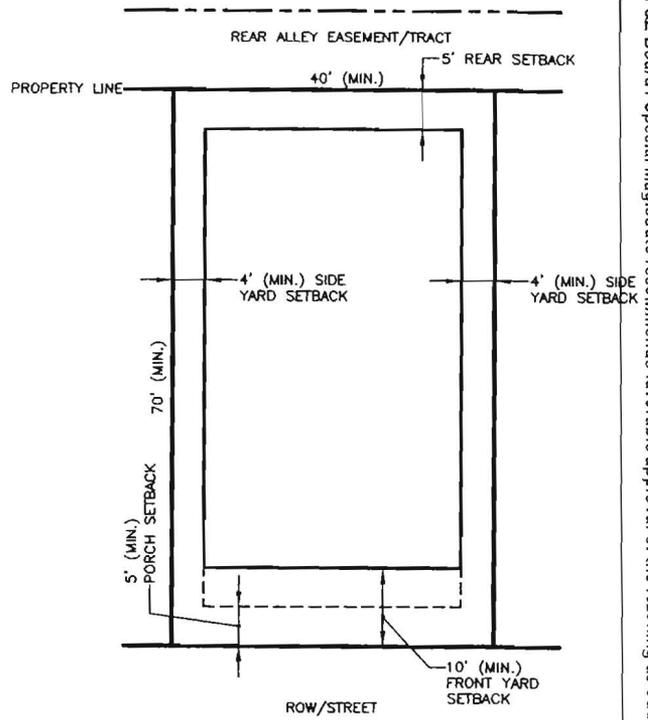
WILDWOOD SPRINGS



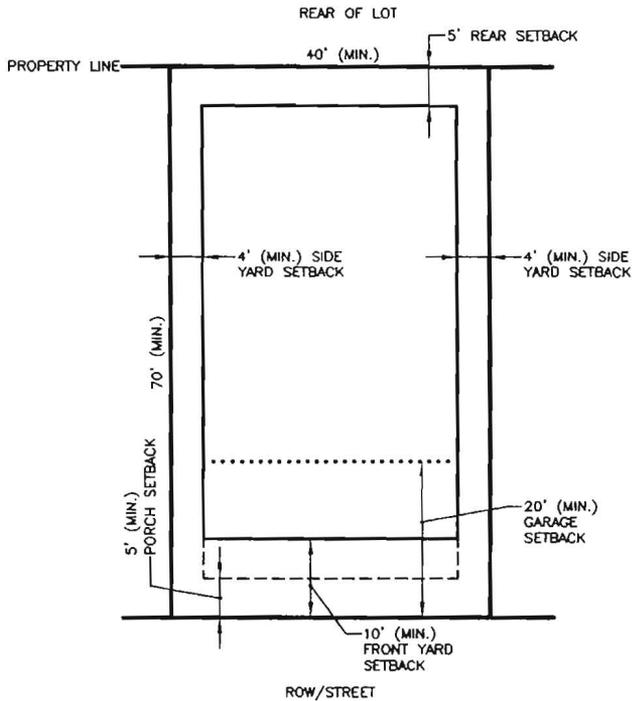
2.0



**3.0 SINGLE FAMILY DETACHED RESIDENTIAL  
(COTTAGE HOMES-23')  
REAR (ALLEY) LOADED**



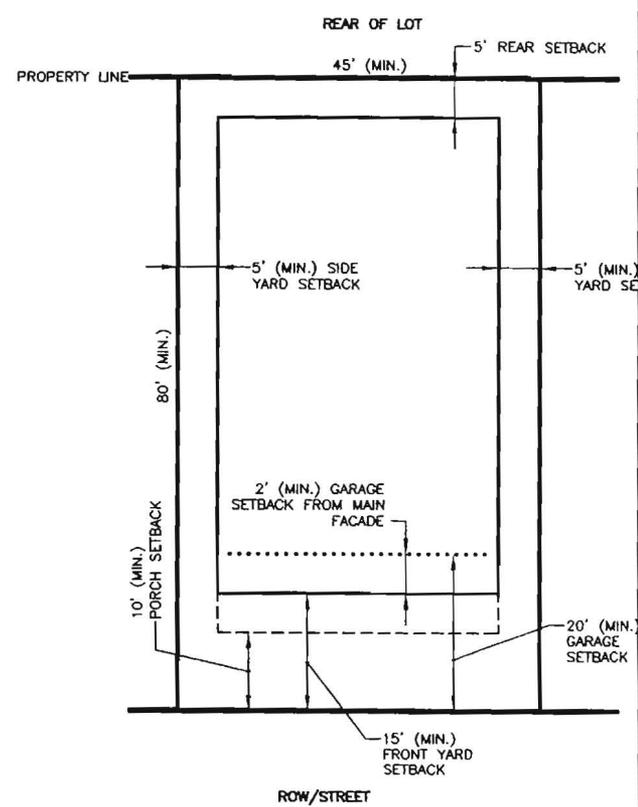
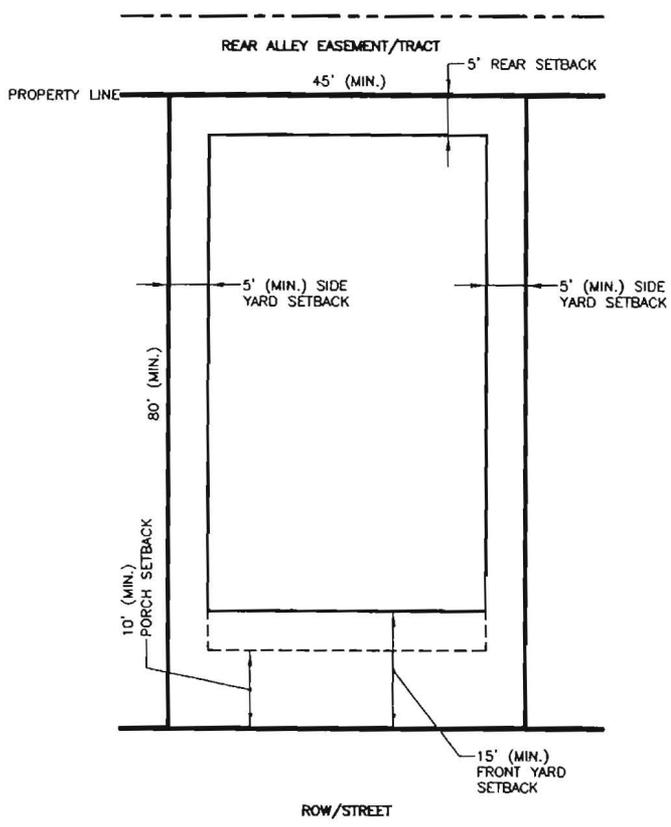
**3.0a SINGLE FAMILY DETACHED RESIDENTIAL  
(BUNGALOW HOMES-40')  
REAR (ALLEY) LOADED**



**3.0b SINGLE FAMILY DETACHED RESIDENTIAL  
(BUNGALOW HOMES-40')  
FRONT LOADED**

1. (d) TITLED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

1. (d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



**4.0a SINGLE FAMILY DETACHED RESIDENTIAL**  
 (VILLAGE HOMES - 45' & 50')  
 (PARK HOMES - 60')  
 (MANOR HOMES - 70')  
 REAR (ALLEY) LOADED

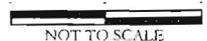
**4.0b SINGLE FAMILY DETACHED RESIDENTIAL**  
 (VILLAGE HOMES - 45' & 50')  
 (PARK HOMES - 60')  
 (MANOR HOMES - 70')  
 FRONT LOADED

TYPICAL LOTS - 4.0 SINGLE-FAMILY DETACHED RESIDENTIAL

SHEET NO.

PLANNED DEVELOPMENT

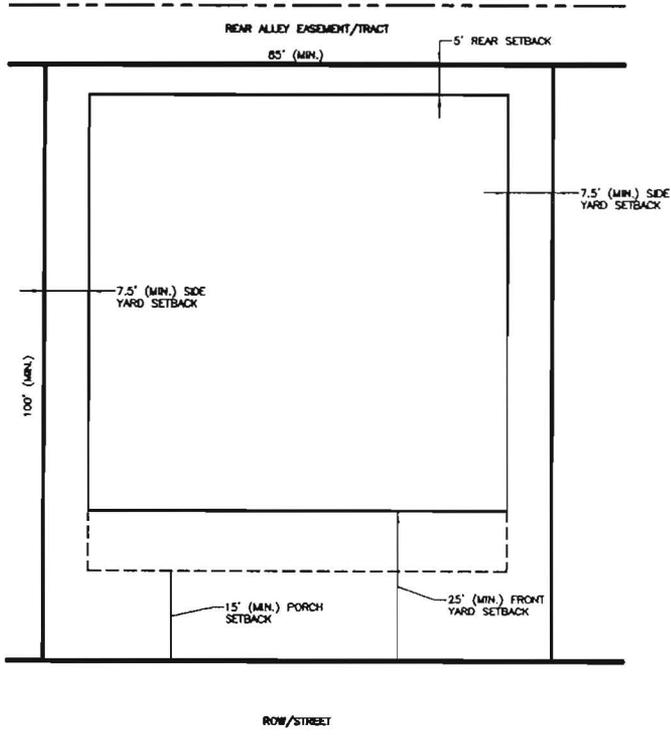
WILDWOOD SPRINGS



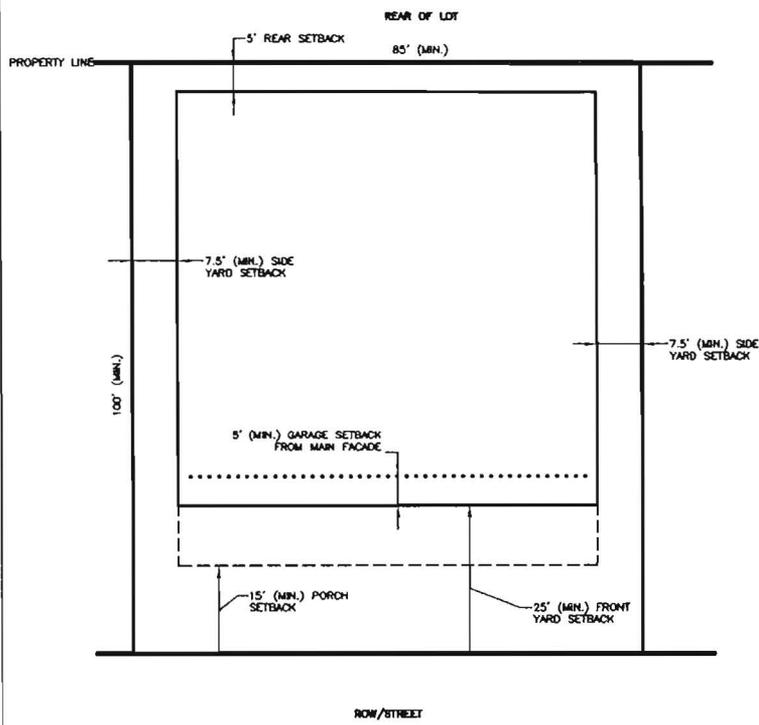
4.0

1. (4) **TIMED ITEMS** Request for amendment to Ordinance #622 concerning the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading

**5.0a SINGLE FAMILY DETACHED RESIDENTIAL  
 (ESTATE HOMES - 85')  
 REAR (ALLEY) LOADED**



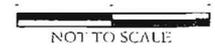
**5.0b SINGLE FAMILY DETACHED RESIDENTIAL  
 (ESTATE HOMES - 85')  
 FRONT LOADED**



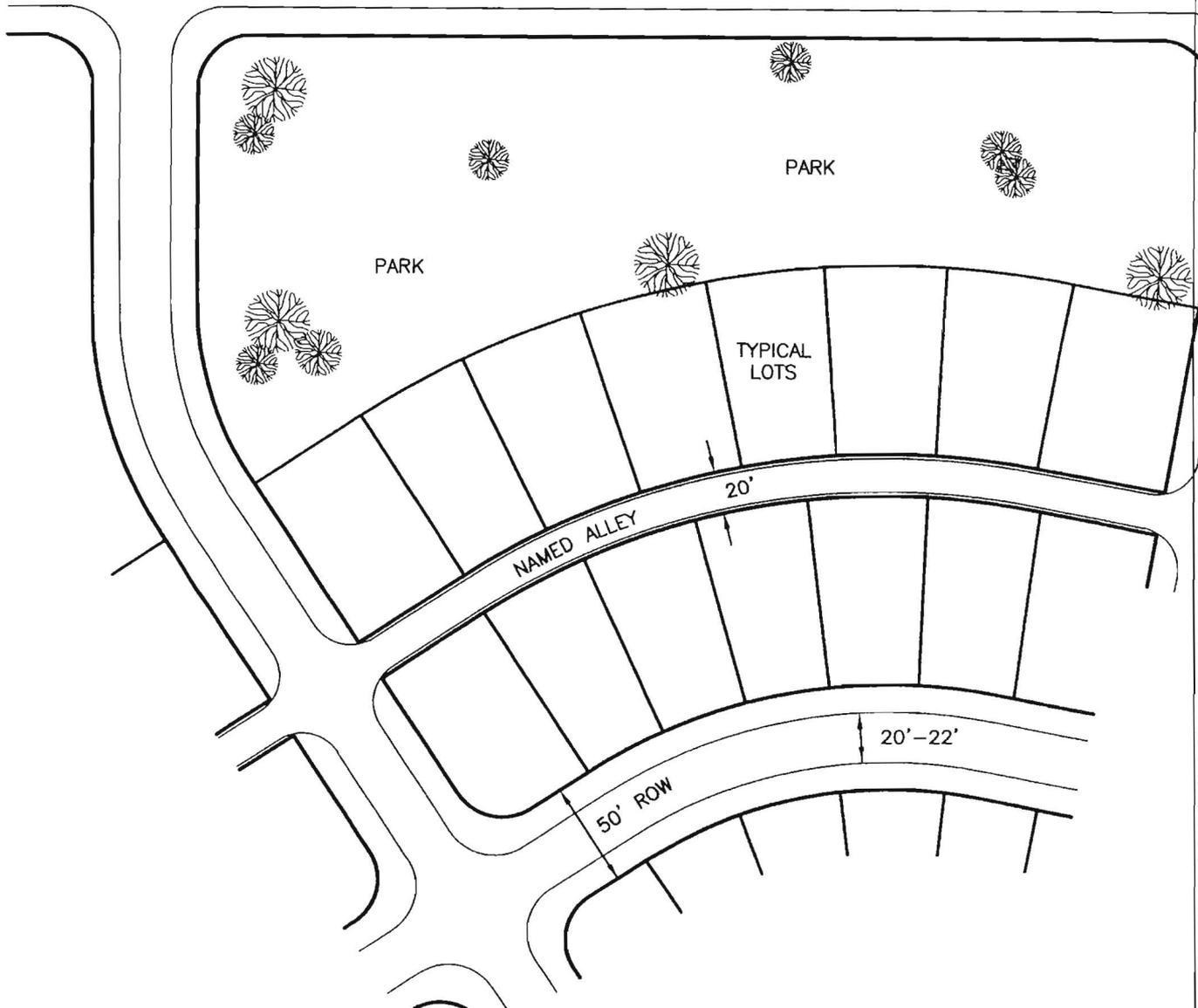
TYPICAL LOTS - 5.0 SINGLE-FAMILY DETACHED RESIDENTIAL  
 PLANNED DEVELOPMENT  
 WILDWOOD SPRINGS

SHEET NO.

5.0



1. (d) TITLED ITEMS Request for amendment to Ordinance #22 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000; P&Z Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. O2011-18 for first reading



6.0 EDGE PARK SCHEMATIC  
NOT TO SCALE

TYPICAL LOTS - 6.0 EDGE PARK SCHEMATIC

SHEET NO.

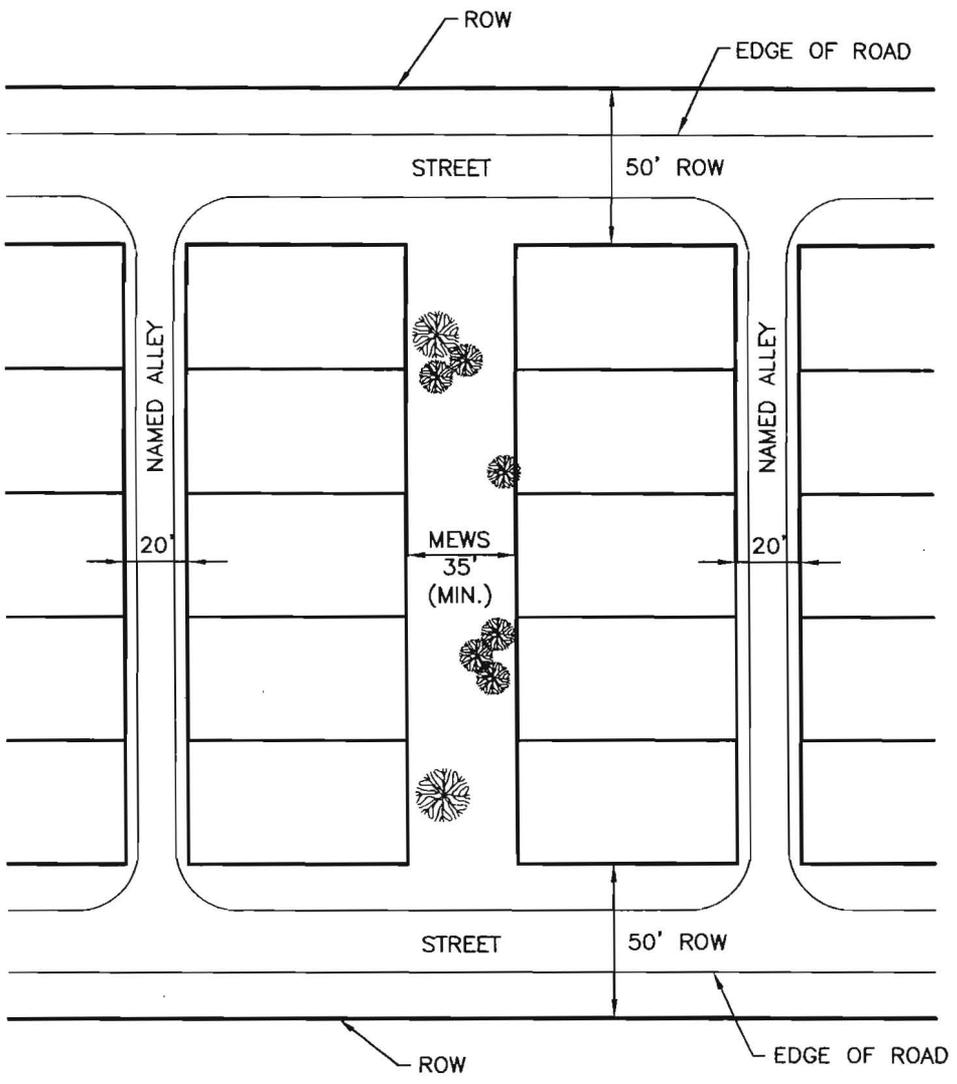
PLANNED DEVELOPMENT

WILDWOOD SPRINGS



6.0

(d) TIMED ITEMS Request for amendment to Ordinance #622 concerning the PUD zoning on the Wildwood Springs development reducing residential dwelling units from 3,700 to 3,000.  
 P&B Board / Special Magistrate recommends favorable approval of the rezoning as outlined in proposed Ordinance No. 02011-18 for first reading

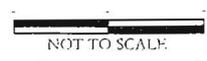


**7.0 MEW PARK SCHEMATIC**  
 NOT TO SCALE

TYPICAL LOTS - 7.0 MEW PARK SCHEMATIC  
 PLANNED DEVELOPMENT  
 WILDWOOD SPRINGS

SHEET NO.

7.0



## 2. REPORTS AND PUBLIC INPUT

- SPECIAL PRESENTATIONS: None

(a) CITY MANAGER:

NOTES: (2.f.)

None

REPORTS: (2.f.)

(See "f" below)

(b) CITY ATTORNEY:

(1)

(c) CITY CLERK:

(1)

(d) COMMISSION MEMBERS:

(1)

(e) PUBLIC FORUM:

(1)

(f) NOTES/REPORTS/FILED ITEMS:

CITY MANAGER (2.a.f.):

1. FYI – SWFWMD Notification of Second Extension of Water Shortage Order No. SWF 2010-022 (Attachments)
2. FYI – Steve Watson, Fleet Services Coordinator, Completion of 3-hr. Airtex Products Fuel Delivery System Training
3. FYI – Donald Marlow, Fleet Services, Completion of 3-hr. Airtex Products Fuel Delivery System Training
4. Update on vegetation clean up at Greenwood Cemetery (Joseph Jacobs, ICM)
5. Update on HVAC repairs (David Grimm, Projects Planner)



An Equal Opportunity Employer

# Southwest Florida Water Management District

**Bartow Service Office**  
170 Century Boulevard  
Bartow, Florida 33830-7700  
(863) 534-1448 or  
1-800-492-7862 (FL only)

**Sarasota Service Office**  
6750 Fruitville Road  
Sarasota, Florida 34240-9711  
(941) 377-3722 or  
1-800-320-3503 (FL only)

**Tampa Service Office**  
7601 Highway 301 North  
Tampa, Florida 33637-6759  
(813) 985-7481 or  
1-800-836-0797 (FL only)

2. a. (f.1.) REPORTS & PUBLIC INPUT- FYI -  
SWFWMD Notification of Second Extension of  
Water Shortage Order No. SWF 2010-022  
2379 Broad Street, Brooksville, Florida 34604-6899  
(352) 796-7211 or 1-800-423-1476 (FL only)  
TDD only: 1-800-231-6103 (FL only)  
On the Internet at [WaterMatters.org](http://WaterMatters.org)

- H. Paul Senft, Jr.**  
Chair, Polk
- Hugh M. Gramling**  
Vice Chair, Hillsborough
- Douglas B. Tharp**  
Secretary, Sumter
- Albert G. Joerger**  
Treasurer, Sarasota
- Nell Combee**  
Former Chair, Polk
- Todd Pressman**  
Former Chair, Pinellas
- Judith C. Whitehead**  
Former Chair, Hernando
- Jeffrey M. Adams**  
Pinellas
- Michael A. Babb**  
Hillsborough
- Carlos Beruff**  
Manatee
- Bryan K. Beswick**  
DeSoto
- Jennifer E. Closshey**  
Hillsborough
- Blake C. Guillory**  
Executive Director



October 26, 2011

SUBJECT: Second Extension of Water Shortage Order No. SWF 2010-022

Dear Local Government Official:

During its meeting on October 25, 2011, in response to a disappointing rainy season, the Governing Board of the Southwest Florida Water Management District (District) ordered another extension of the existing Modified Phase I (Moderate) Water Shortage declaration.

The Water Shortage Order first went into effect on December 1, 2010 and, as previously modified in July, would have expired on October 31, 2011. The new expiration date is February 29, 2012; however, the Board may revisit this matter at any time if drought impacts to regional water resources improve or worsen significantly before the new expiration date.

If you need to refamiliarize yourself with the restrictions and other requirements that were included in the Water Shortage Order, please visit the District's website ([www.WaterMatters.org](http://www.WaterMatters.org)) and click on the "Water Restrictions" image or contact its Water Shortage hotline (call 1-800-848-0499 or e-mail [Water.Restrictions@WaterMatters.Org](mailto:Water.Restrictions@WaterMatters.Org)).

Sincerely,

Blake C. Guillory, P.E.  
Executive Director

# District Water Restrictions

## Effective Date and Areas

- The District's Phase I Water Shortage Restrictions went into effect on Dec. 1, 2010, except where stricter measures have been imposed by local governments. The Phase I water shortage has been extended through February 29, 2012. Always refer to your local government or utility restriction guidelines first.
- Restrictions apply to all of Charlotte, Citrus, DeSoto, Hardee, Hernando, Highlands, Hillsborough, Manatee, Pinellas, Polk and Sumter counties; and portions of Lake and Levy counties. [View map.](#)
- The unincorporated parts of Pasco and Sarasota counties have local ordinances and are on one-day-per-week restrictions.
- The City of Ocala and unincorporated Marion County will continue to follow the St. Johns River Water Management District's water restrictions; however, the City of Dunnellon and The Villages remain under the Southwest Florida Water Management District's water restrictions.

## Lawn Watering Schedule and Times

- Lawn watering is limited to twice per week.
- Lawn watering days and times are as follows unless your city or county has a different schedule or stricter hours in effect:
  - Even addresses may water on Thursday and/or Sunday before 10 a.m. or after 4 p.m.
  - Odd addresses may water on Wednesday and/or Saturday before 10 a.m. or after 4 p.m.
  - Locations without a discernable address, such as rights-of-way and other common areas inside a subdivision, may water on Tuesday and/or Friday before 10 a.m. or after 4 p.m.

## Irrigation Systems

- Under Phase I, residents are asked to check their irrigation systems to ensure they are working properly. This means testing and repairing broken pipes and leaks, and damaged or tilted sprinkler heads.
- Residents should also check their irrigation timer to ensure the settings are correct and the rain sensor is working properly in accordance with state law.

## Landscape Watering Schedule and Times

- Hand watering and micro-irrigation of plants (other than lawns) can be done on any day and at any time.

## New Lawns and Plants

- New lawns and plants have a 30-30 establishment period, which allows any-day watering during the first 30 days.
- During the second 30 days, watering is allowed three days per week: even-numbered addresses may water on Tuesday, Thursday and Sunday; odd-numbered addresses may water Monday, Wednesday and Saturday.

## Reclaimed Water

- Reclaimed water remains subject to voluntary watering hours, unless blended with another water source or restricted by the local government or utility.

## Fountains, Car Washing and Pressure Washing

- There are no restrictions on fountains, car washing and pressure washing. However, the District asks that residents be as efficient as possible, such as using a shutoff nozzle on their hose so water isn't wasted.

## Utilities

- Water utilities and their local governments are expected to review and revise water restriction enforcement procedures, begin monthly enforcement reporting and communicate with customers about water restrictions and water conservation.

***Always refer to your city or county regulations first.***

*The District allows local governments to impose special watering schedules.*

## Phase I Water Shortage

[Second Modified Water Shortage Order No. SWF 2010-022](#)

[Summary of Modified Phase I Restrictions](#)

## Tips for Sod Replacement

[For Homeowners](#)

[For Professionals](#)

## Contact Us

If you have additional water restriction questions or wish to report a possible violation, please contact us by calling our water restrictions hotline at 1-800-848-0499 (FL only) (*personal assistance is available during business hours; off-hours uses an automated response system*) or 1-800-836-0797 (FL only), ext. 2298; also by email at [Water.Restrictions@WaterMatters.org](mailto:Water.Restrictions@WaterMatters.org).

## Mailing Address

Demand Management  
SWFWMD  
7601 U.S. Hwy. 301 N.  
Tampa, FL 33637

A [petition for variance](#) from year-round water conservation measures or water shortage restrictions is available if an alternative irrigation plan is proposed. To confirm that a variance is needed, check with our staff during normal business hours at 1-800-848-0499 (FL only) or email [Water.Restrictions@WaterMatters.org](mailto:Water.Restrictions@WaterMatters.org).

### 3. NEW BUSINESS – ACTION REQUIRED

1. Minutes of Regular Meeting held on October 24, 2011(Attachments – Staff recommends approval)

#### b. **ORDINANCES FIRST READING ONLY (READ ONLY – NO VOTE)**

1. None

#### c. **RESOLUTIONS FOR APPROVAL:**

**SEE  
ADDITIONAL  
INFORMATION  
IN THE FOLDER  
INCLUDED IN  
YOUR BINDER**

1. Resolution No. R2011-30 providing for the support of Sumter County Students Working Against Tobacco (SWAT) and the Tobacco Free Partnership of Sumter County in their efforts to cease the sale and use of flavored tobacco products to youth and teens in Sumter County to prevent early use of tobacco products and prevent future unnecessary deaths (Attachments & Folder – Staff Recommends Approval)
2. Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower and request approval to enter into 60-month Contract (# 111100468632) with Century Link for total of \$6,816 annually; paid in monthly installments of \$568 and one-time charge of \$1,432 for Channel Termination set up (Attachments – Staff Recommends Approval)
3. Resolution No. R2011-32 providing for a unique purchasing opportunity for materials, engraving & lettering of crypts from Southern Monument Studio, Inc., at a cost of \$6,340 to repair the deteriorating Mausoleum in Greenwood Cemetery (Attachments – Staff Recommends Approval)
4. Resolution No. R2011-33 declaring certain City owned unusable real property surplus and disposing of said property by exchanging it for property currently owned by Adeline Coachman which will be useable by the City for a planned Tot Lot (Attachments – Staff Recommends Approval)

#### d. **APPOINTMENTS**

1. Request for Appointment of Wildwood residents to two Lake-Sumter MPO committees:
  - a) Citizens' Advisory Committee (CAC) - Appoint new representative or re-appoint current representative, Stephen Stone. Mr. Stone has been contacted by COW staff and would like to serve another term if appointed; **AND**
  - b) Bicycle & Pedestrian Advisory Committee (BPAC) - Request for appointment of a representative to the currently vacant seat (Attachment - Board Option)
2. Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year (Sister Cities polled by City Clerk) (Attachment – Board Option)

#### e. **CONTRACTS AND AGREEMENTS**

1. Request approval of the Contract Renewal with the WRPC (Withlacoochee Regional Planning Council), an agreement for services if needed (Attachments – Staff Recommends Approval)
2. Request approval of the Third Addendum to the Developer's Agreement with Homes In Partnership (Attachments – Board Option)
3. Renewal of lease with Dodd McDowell. DM7 Cattle Company (to exempt the property now leased for the AT&T Cell tower) (Attachments – Staff Recommends Approval)

f. **FINANCIAL**

1. Bills for Approval (Attachments – Staff Recommends Approval)
2. Discussion/Approval for purchase of Flygt Pump in the amount of \$24,412 to replace non-operational pump at the CR 468/Fla. Turnpike Pump Station, from ITT Water & Wastewater Florida, LLC, sole source provider of Flygt Pumps (Attachments – Staff Recommends Approval)
3. Discussion/Approval requested to purchase of 75 hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightening strike on Aug. 19, 2011 (Attachments – Staff Recommends Approval)
4. Discussion/Approval requested for Kimley-Horn to proceed with Individual Project Order (IPO) Number 12 in the amount of \$6,250 to provide an estimated cost to Refurbish Pump Station No. 2 at 3-Flags Resort on SR 44 or abandon the station and remove it from service (Attachments – Staff Recommends Approval)
5. Discussion/Approval to select the lowest quote from Mike's Painting and Pressure Cleaning, Inc. to repaint the Millennium Park Horizontal Water Tank (Attachments – Staff Recommends Approval)
6. Discussion/Approval to accept only the quotes from Air Mechanical & Service Corp. totaling \$41,750 to repair and paint the City Hall Columns (Attachments – Staff Recommends Approval)
7. Discussion/Approval to purchase 14' x 30' portable storage shed for placement at WWTP from Superior Sheds in the amount of \$6,000, lowest cost per sq. ft. (\$14.29/sf) for storage of water department materials presently stored in buildings on Wilson St. and Masters Ave. which are in need of major repairs (Attachments – Staff Recommends Approval)

g. **GENERAL ITEMS FOR CONSIDERATION**

1. Discussion/Approval of Christmas Parade & route proposed for the Parade (Attachments - Staff Recommends Approval)
2. Discussion/Approval of request from San Pedro Maldonado Mission for the closure of Wonders Street between the City Hall Annex and Gamble Street and use of City barricades on Sunday, December 11<sup>th</sup>, 2011, from 8:00 AM – 6:00 PM for their 4<sup>th</sup> Annual Our Lady of Guadalupe Celebration (Attachment – Board Option)
3. Discussion on possibility of increasing the Minimums on the Salary Schedule to reflect the 3% COLA that went into effect Oct. 1, 2011 or just assess all salaries, evaluating and rectifying current compression issues and present to Commission upon completion (Attachments – Board Option)

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA  
REGULAR MEETING  
OCTOBER 24, 2011 – 7:00 P.M.  
CITY HALL COMMISSION CHAMBER

The City Commission of the City of Wildwood, Florida met in Regular session October 24, 2011 at 7:00 p.m.

Present were: Mayor Wolf, Commissioners Bivins, Clark, and Strickland. Also present were: City Manager Smith, City Clerk Jacobs, City Attorney Blair, Assistant City Clerk Roberts, Police Chief Reeser, Utility Director Phillips, Wastewater Director Bennett, and AVT Law. Commissioner Allen being absence.

The meeting was called to Order, followed by an invocation and Pledge of Allegiance to the American Flag.

1. TIMED ITEMS AND PUBLIC HEARINGS

a. PUBLIC HEARING\* – 2nd FINAL READING Ordinance No. O0211-13, an ordinance rezoning a portion of property within the City of Wildwood, Parcel # D08=005, 7.03± acres, from Low Density Residential (R-1) to Institutional (INS) for applicant Lenity Group to construct a planned 3-story, 130 suite independent living facility, project to be known as Oxford II Retirement Residence; Special Magistrate recommends approval (Attachments – Staff Recommends Approval)

Public Hearing opened by Mayor Wolf who swore in Mark Lowen of Lenity Group LLC and Dwayne Anderson, Architect for the Church to the east who reported that the church has no objections to the project. No other comments were received.

Motion by Commissioner Bivins, second by Commissioner Strickland that Ordinance No. O2011-13: An Ordinance Of The City Of Wildwood, Florida; Rezoning Certain Real Property In Compliance With The Adopted Local Comprehensive Plan And Future Land Use Map; In Accordance With The Community Planning Act Of 2011, As Amended; Providing For Codification; Providing For Conflict; And Providing An Effective Date: be adopted on second final reading. Motion carried by unanimous vote.

b. Request final site plan approval for construction of 3-story, 130 suite, independent Living Retirement Residence (Oxford II Retirement Residence); Special Magistrate recommends approval (Attachments – Staff Recommends Approval)

Motion by Commissioner Clark, second by Commissioner Strickland that SP 1108-01 be approved as recommended by the Special Magistrate. Motion carried by unanimous vote.

c. PUBLIC HEARING\* – 2nd FINAL READING Ordinance No. O2011-17, an ordinance repealing Ordinance No. 426 and Section 13-2, City of Wildwood Code to abolish the Police User Fee (Attachments – Staff Recommends Approval)

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It was noted that the fee was put in place when the City needed additional police officers and there was no other revenue for funding. Now that revenue has increased the fee should be eliminated.

Motion by Commissioner Bivins, second by Commissioner Strickland that Ordinance O2011-17: An Ordinance Of The City Of Wildwood, Florida, Repealing Ordinance Number 426 And Section 13-2, City Of Wildwood Code; Providing For Conflict; Providing For An Effective Date: be adopted on second final reading. Motion carried by unanimous vote.

\*Quasi-judicial

2. SPECIAL PRESENTATION, REPORTS AND PUBLIC INPUT

- Proclamation declaring October 31, 2011 as "William "Pete" Bennett Day" on his last day of employment with the City before retiring; having served 17 years of service (Attachment)

Proclamation was read in its entirety and presented to Pete Bennett in honor of his service and retirement. Key to the City plaque was also presented.

a. City Manager

CM Smith expressed gratitude to the Commission for giving him the opportunity to fill the position of City Manager three years ago, noting this is his last Commission Meeting and his last night with the City. Mayor Wolf expressed gratitude to CM Smith for his service and job done for the City of Wildwood.

CM Smith updated the search – applications have started to arrive with a closing date of November 18. Applications will begin review by the FCCMA after that date. They expect to have the position filled some time in February. Mayor Wolf noted that Joseph Jacobs would step in as Interim City Manager while the search progresses.

1) FYI – Kimley-Horn Monthly Utilities and Projects Meeting Notes for September 21, 2011 meeting (Attachments)

2) FYI – Quarterly Report from Chief Reeser for the Wildwood Police Dept. (Attachment)

b. City Attorney - none

c. City Clerk - none

d. Commission Members - none

e. Public Forum (10 minute time limit)

1) Max Stumborg – Greenwood Cemetery needs some attention. Crypt covers are missing and needs pressure washing. Weeds need clearing on the

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South side. CM Smith noted that repairs for the mausoleum are in the budget and that Parks & Recreation Department takes care of the cemetery.

2) Sam Saleem – expressed thanks to Robert Smith for encouraging him to attend the Commission meetings. It has been a good experience. Wished Robert Smith the best.

3) Robert Hannah, Wildwood Development Center – would like to thank the City Manager, wished him the best.

f. Notes, Reports, and items for the file as attached

3. NEW BUSINESS – ACTION REQUIRED

a. MINUTES

1) Minutes of Regular Meeting held on October 10, 2011 (Attachments – Staff recommends approval)

Motion by Commissioner Strickland, second by Commissioner Bivins to approve the minutes of October 10, 2011. Motion carried by unanimous vote.

b. ORDINANCES FIRST READING ONLY (READ ONLY – NO VOTE)

1) Ordinance No. O2011-14, an Ordinance correcting scrivener's errors regarding Ordinance No. O0211-06 (Attachments – Staff recommends approval)

Ordinance O2011-14 was introduced and read by title only.

CA Blair noted that in the future her office will be asking the property owner to research and provide a correct legal.

c. RESOLUTIONS FOR APPROVAL:

1) Resolution No. R2011-26, a Resolution declaring a sole source purchase provider from ITT Water & Wastewater Florida, LLC, for Flygt pumps to replace a non-operational pump at the CR 219 pump station (Attachments – Staff Recommends Approval)

Resolution R2011-26 was introduced and read by title only.

Motion by Commissioner Bivins, second by Commissioner Strickland that Resolution R2011-26: A Resolution Of The City Commission Of The City Of Wildwood, Florida, Declaring A Sole Source Provider For The Purchase Of "Flygt" Submersible Sanitary Pumps From Itt Water & Wastewater Florida, LLC: is adopted. Motion carried by unanimous vote.

2) Resolution No. R2011-27, a Resolution providing for increases in inflation based upon the US Army Corp of Engineers' Construction Price Index (CWCCIS)

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for Water and Wastewater Connection Fees (Attachments – Staff Recommends Approval)

Resolution R2011-27 was introduced and read by title only.

Motion by Commissioner Strickland, second by Commissioner Bivins that Resolution R2011-27: A Resolution Of The City Commission Of The City Of Wildwood; Providing For Increases To Water And Wastewater Connection Fees For Inflation; Providing For An Effective Date: is adopted. Motion carried by unanimous vote.

3) Resolution No. R2011-28, a Resolution declaring a 2003 Chevy Impala, VIN#2G1WF55K239247765 patrol car as surplus property with recommendation to sell for scrap (Attachments – Staff Recommends Approval)

Resolution R2011-28 was introduced and read by title only.

Motion by Commissioner Clark, second by Commissioner Bivins that Resolution R2011-28: A Resolution Of The City Commission Of The City Of Wildwood, Florida Determining That Certain Property Is Surplus; Determining The Manner Of Disposal Of Said Property; Providing For An Effective Date: is adopted. Motion carried by unanimous vote.

4) Resolution No. R2011-29, a Resolution providing for increases in inflation based upon the US Army Corp of Engineers' Construction Price Index (CWCCIS) for Water and Wastewater Transmission Infrastructure Extension (TIE) Fees (Attachments – Staff Recommends Approval)

Resolution R2011-29 was introduced and read by title only.

Motion by Commissioner Strickland, second by Commissioner Bivins that Resolution R2011-29: A Resolution Of The City Commission Of The City Of Wildwood; Providing For Increases To Water And Wastewater Transmission Infrastructure Extension Fees For Inflation, Providing For An Effective Date: is adopted. Motion carried by unanimous vote.

d. APPOINTMENTS - None

e. CONTRACTS AND AGREEMENTS - None

f. FINANCIAL

1) Bills for Approval (Attachments – Staff Recommends Approval)

Motion by Commissioner Strickland, second by Commissioner Clark to approve payment of the bills. Motion carried by unanimous vote.

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Mayor Wolf asked if specifications for painting the tank at Millennium were ever done and quotes received. Dave Grimm to work with Jason Hargrove to complete.

2) Discussion/Approval of Bid Results for CR 232 Resurfacing Project funded through CDBG Grant No. 11DB-C5-05-70-01-N12; recommendation of engineer and staff to award contract to low bidder, C.W. Roberts Contracting, in the amount of \$95,946 (Attachments – Staff recommends approval)

Motion by Commissioner Strickland, second by Commissioner Clark to award the CR 232 Resurfacing Project to CW Roberts in an amount of \$95,946.00. Motion carried by unanimous vote.

3) Discussion/Approval of Bid Results for Osceola Drainage Improvement Project funded through CDBG Grant No. 11DB-C5-05-70-01-N12; recommendation of engineer and staff to award contract to low bidder, Utility Systems of Wildwood, in the amount of \$147,082 (Attachments – Staff recommends approval)

Motion by Commissioner Bivins, second by Commissioner Clark to award the Osceola Drainage Improvement Project to Utility Systems of Wildwood in the amount of \$147,082. Motion carried by unanimous vote.

4) Discussion/Approval of Bid Results for Pitt-Stone Drainage Improvement Project funded through CDBG Grant

Motion by Commissioner Bivins, second by Commissioner Clark to award the Pitt-Stone Drainage Improvement Project to Utility Systems of Wildwood in the amount of \$138,826.50. Motion carried by unanimous vote.

5) Discussion/Approval for repair of severe water leak in City Hall Skylight; recommendation of staff to award repair to low bidder Lake Glass and Mirror from Leesburg in the amount of \$2,400; additionally staff requests ability to spend up to \$2,000 for any additional hidden damage and repair of damaged 2<sup>nd</sup> floor drywall ceiling (attachments – staff recommends approval)

Motion by Commissioner Clark, second by Commissioner Strickland to award repair of City Hall Skylight to Lake Glass and Mirror in the amount of \$2,400 and approve an additional up to amount of \$2,000 for hidden damage and drywall damage. Motion carried by unanimous vote.

g. GENERAL ITEMS FOR CONSIDERATION

1) Discussion relative to the current Land Planning Contract with Tindale-Oliver & Associates, due to expire on January 26, 2012 (Attachments – Board Option)

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Motion by Commissioner Strickland, second by Commissioner Bivins that a letter of notification be sent to Tindale-Oliver & Associates that the contract will not be renewed. Motion carried by unanimous vote.

2) Discussion/Approval requested by Gidget Gibson & members of the Wildwood Historical Assoc. to organize & put on the Wildwood Christmas Parade for 2011 (Attachments – Staff Recommends Approval)

CM Smith noted that the City's donation would be the time for employees who would have to work the parade.

Motion by Commissioner Clark, second by Commissioner Bivins to authorize Gidget Gibson and the Wildwood Historical Association members to organize and stage the Wildwood Christmas Parade for 2011 and that the proposed parade route be brought back for approval on November 14. Motion carried by unanimous vote.

4. ADJOURN:

Upon a motion by Commissioner Clark, second by Commissioner Strickland the meeting adjourned.

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

S E A L

ATTEST: \_\_\_\_\_  
Joseph Jacobs, City Clerk

\_\_\_\_\_  
Ed Wolf, Mayor

**RESOLUTION NO. R2011-30**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WILDWOOD, FLORIDA PROVIDING THAT RESEARCH INDICATES THAT TOBACCO USE IS THE NUMBER ONE CAUSE OF PREVENTABLE DEATH IN THE UNITED STATES AND ALMOST 90 PERCENT OF TOBACCO USERS STARTED BEFORE THEY WERE 18 YEARS OLD; PROVIDING THAT RESEARCH INDICATES THAT TOBACCO MANUFACTURERS ARE TARGETING YOUTH WITH FLAVORED TOBACCO PRODUCTS; PROVIDING THAT IN SUMTER COUNTY NEARLY 1 IN 4 HIGH SCHOOL YOUTH HAVE USED TOBACCO; PROVIDING THAT SUMTER COUNTY YOUTH USE SMOKELESS TOBACCO PRODUCTS AT A SIGNIFICANTLY HIGHER RATE THAN THE YOUTH IN THE STATE OF FLORIDA; PROVIDING THAT TOBACCO MANUFACTURERS ARE BANNED FROM DIRECTLY OR INDIRECTLY TARGETING YOUTH IN ADVERTISING; PROVIDING THAT RESEARCH BY STUDENTS WORKING AGAINST TOBACCO YOUTH AND THE TOBACCO-FREE PARTNERSHIP OF SUMTER COUNTY FOUND THAT THE MAJORITY OF TOBACCO RETAILERS SURVEYED IN SUMTER COUNTY SELL FLAVORED TOBACCO PRODUCTS OF VARIOUS KINDS; PROVIDING THAT THE CITY COMMISSION SUPPORTS THE SUMTER COUNTY STUDENTS WORKING AGAINST TOBACCO YOUTH AND THE TOBACCO FREE PARTNERSHIP OF SUMTER COUNTY IN THEIR EFFORTS TO STOP USE OF SUCH PRODUCTS BY THE YOUTH OF SUMTER COUNTY; URGING TOBACCO RETAILERS TO STOP THE SALE AND MARKETING OF FLAVORED TOBACCO IN THE CITY OF WILDWOOD; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, research indicates that tobacco use is the number one cause of preventable death in the United States, and almost 90 percent of tobacco users started before they were 18 years old; and,

WHEREAS, research from the Harvard School of Public Health found that tobacco manufacturers are targeting youth with flavored products that mask the harsh and toxic properties found in tobacco smoke and spit residue; and,

WHEREAS, in Sumter County, nearly 1 in 4 high school youth have used tobacco in one or more forms in the past 30 days; and,

WHEREAS, studies indicate that Sumter County youth use smokeless tobacco products at a significantly higher rate than the youth in the State of Florida, often times

3. NEW BUSINESS - ACTION REQUIRED  
c. RESOLUTIONS FOR APPROVAL(1) Resolution No. R2011-30 providing for the support of Sumter County Students Working Against Tobacco (SWAT) and the Tobacco Free Partnership of Sumter County in their efforts to cease the sale and use of flavored tobacco products to youth and teens in Sumter County to prevent early use of tobacco products and prevent future unnecessary deaths

3. NEW BUSINESS - ACTION REQUIRED  
c. RESOLUTIONS FOR APPROVAL(1) Resolution No. R2011-30 providing for the support of Sumter County Students Working Against Tobacco (SWAT) and the Tobacco Free Partnership of Sumter County in their efforts to cease the sale and use of flavored tobacco products to youth and teens in Sumter County to prevent early use of tobacco products and prevent future unnecessary deaths

using products which contain flavoring characteristics; and,

WHEREAS, tobacco manufacturers are banned from directly or indirectly targeting youth in advertising, marketing and promotion of tobacco products aimed at initiating, maintaining or increasing youth use of tobacco in ordinance with the 1998 Master Settlement Agreement; and,

WHEREAS, there have been suggestions that manufacturers target youth through the various flavors in tobacco products and their marketing; and,

WHEREAS, youth-oriented colorful and stylish packaging and flavors such as Green Apple, Cherry, Root Beer, French Vanilla, Grape, Mango, Peach and numerous other flavors identified in retail outlets in Sumter County appear to increase adolescent use of tobacco; and,

WHEREAS, national studies have found that the vast majority of people who are using these flavored tobacco products are youth and young adults; and,

WHEREAS, research by the Students Working Against Tobacco youth and the Tobacco-Free Partnership of Sumter County found that the majority of tobacco retailers surveyed in Sumter County sell flavored tobacco products of various kinds; and,

WHEREAS, flavored tobacco products are defined as loose tobacco, snuff flour, plug and twist tobacco, fine cuts, long cuts, chewing tobaccos, dissolvable tobaccos, snus, shisha tobaccos, cigarettes, cigarillo, cigars, other smoking and snuffing products, and all other forms of tobacco products, that contain any product or additive, either artificial or natural, that is designed to be a characterizing flavor of either the tobacco product or the byproduct it produces; and,

WHEREAS, the City Commission of the City of Wildwood has no authority to stop sales of such products within the City; and,

WHEREAS, the City Commission supports the Sumter County Students Working Against Tobacco Youth and the Tobacco Free Partnership of Sumter County in their efforts to stop use of such products by the youth of Sumter County.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COMMISSION OF THE CITY OF WILDWOOD, FLORIDA, THAT:

1. That the City of Wildwood supports the Students Working Against Tobacco and Tobacco Free Partnership in their efforts to stop all local retailers who sell tobacco products where youth have access to their store or products to cease the sale and marketing of all flavored tobacco products, in order to reduce the exposure and use of tobacco products to Sumter County youth.

DONE AND RESOLVED, this \_\_\_\_\_ day of \_\_\_\_\_, 2011, in

regular session, by the City Commission of the City of Wildwood, Florida.

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

SEAL

By: \_\_\_\_\_

Ed Wolf, Mayor

ATTEST:

\_\_\_\_\_  
Joseph Jacobs, City Clerk

3. NEW BUSINESS - ACTION REQUIRED

c. RESOLUTIONS FOR APPROVAL(1) Resolution No. R2011-30 providing for the support of Sumter County Students Working Against Tobacco (SWAT) and the Tobacco Free Partnership of Sumter County in their efforts to cease the sale and use of flavored tobacco products to youth and teens in Sumter County to prevent early use of tobacco products and prevent future unnecessary deaths



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Rick Scott  
Governor  
H. Frank Farmer, Jr., MD, PhD, FAAP  
State Surgeon General

November 7, 2011

Mayor Ed Wolfe and City Commissioners  
City of Wildwood  
100 North Main Street  
Wildwood, FL 34785

REC'D 11.09.11  
DATE *MS*  
EXECUTIVE DEPT.

Dear Mayor Wolfe and Commissioners,

The Sumter County Students Working Against Tobacco (SWAT) youth are reaching out to the municipalities of Sumter County requesting the passing of resolutions to urge retailers to stop selling Candy Flavored Tobacco products.

Studies show that 1 out of 4 high school students have used tobacco products in the last 30 days. These studies also indicate that Sumter County youth use smokeless tobacco products at a higher rate than the State of Florida. In 1998, tobacco companies were banned from targeting youth through commercial or other advertising media. As a result, they have begun using alternative tactics, such as flavoring the tobacco products and packaging them in bright colors. The flavoring of tobacco products masks the addictive nature of nicotine.

The SWAT youth are kindly requesting you pass a resolution to urge retailers to stop selling candy flavored tobacco products.

The SWAT youth appreciate your time and attention to this matter. If you have any questions, please contact Dina Martinez, Senior Health Educator, at 352-569-3146 or email at [dina\\_martinez@doh.state.fl.us](mailto:dina_martinez@doh.state.fl.us).

Respectfully,

Sanford D. Zelnick, D.O., M.S.  
Director  
Sumter County Health Department

SDZ/mdc

cc: Dina Martinez, Sr. Health Educator  
Keith Hunter, Assistant CHD Director

3. NEW BUSINESS - ACTION REQUIRED c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower.

**CITY COMMISSION OF THE CITY OF WILDWOOD**

**EXECUTIVE SUMMARY**

**SUBJECT:** Communications tower – hard-line

*Resolution # R2011-31*

**REQUESTED ACTION:** Approval of sole source provider

Work Session (Report Only)  
 Regular Meeting

**DATE OF MEETING:** 11/14/2011

Special Meeting

**CONTRACT:**  N/A

Effective Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

Vendor/Entity: \_\_\_\_\_

Termination Date: \_\_\_\_\_

**BUDGET IMPACT:** Estimated \$8,316.00

Annual  
 Capital  
 N/A

**FUNDING SOURCE:** \_\_\_\_\_

**EXPENDITURE ACCOUNT:** \_\_\_\_\_

**HISTORY/FACTS/ISSUES:**

**Mayor and Commission,**

In 2008, the 180 foot Communication Tower for the City of Wildwood was replaced. The new 240 foot tower was moved to 400 Roy Street. Efforts were made to have a connection between the Police Department and the tower, along with a wireless back-up system. Upon completion of the construction, we operated on the back-up system, while negotiating with CSX railroad. Cost to bore under the tracks was estimated to be about \$36,000.00. Due to the fact there are current plans to relocate the police department to CR213, in the future, the cost was not deemed financially responsible. The next options were to explore overhead lines and T-1 lines. Robert Smith looked into the legality of running lines over CSX property, However I believe the legal web and cost may be too expensive and would still only be a temporary solution. The exposed lines would make it easy for a person to disrupt communication at the police department and the lines would be subjected to weather.

The last option is to utilize T-1 lines, through Century Link. The lines could be used currently and at the future C.R. 213 location.

On August 19, 2011 the Police Department received a lightning strike and took out the wireless link between the Police Department and the tower, losing radio and data. The wireless system was meant to be the back-up to the hard wire. Without the hard wire, we are susceptible to losing communication with officers, other agencies and a loss of data. This creates a high risk for the citizens and liability to the City.

Cost of each line is dependent on the length of contract.

T1 pricing between PD & the Tower:

12 month term agreement = \$318 per month

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24 month term agreement = \$308 per month  
36 month term agreement = \$300 per month  
60 month term agreement = \$284 per month

3. NEW BUSINESS - ACTION REQUIRED c. RESOLUTIONS FOR APPROVAL (2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower.

I would recommend the two T-1 lines with longest term and least cost being a 60 month term agreement at \$284.00 per month per line. Cost to the City would be \$6816.00 annually.

Termination ends would cost about \$1500.00 for the two lines. (One time cost)

E.W. Reeser, Chief 

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3. NEW BUSINESS – ACTION REQUIRED c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower.

**RESOLUTION NO. R2011-31**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WILDWOOD, FLORIDA, DECLARING CENTURY LINK TO BE THE SOLE SOURCE PROVIDER FOR T-1 LINES FOR OPERATION OF THE COMMUNICATION SYSTEM FOR THE CITY OF WILDWOOD POLICE DEPARTMENT; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Wildwood Police Department has need for a means to operate its communication system other than the sole existing wireless system; and,

WHEREAS, the existing wireless system was installed to be a back-up system to the hard line operation; and

WHEREAS, Chief Reeser and staff have determined that there exists a potential liability for staff if the sole wireless system is made inoperable as in the lightening strike of August 19, 2011, and that without the hard lines as a means of operation there is also a high risk for our citizens and to the City; and

WHEREAS, other methods of providing lines to the tower, such as boring under the CSX railroad tracks and/or installing overhead lines across CSX right of way are too costly to pursue and therefore, not economically feasible at this time as well as only being a temporary fix; and

WHEREAS, T-1lines through Century link are available that would allow operation of the communication system via hard lines, and which would allow for there to be a back-up wireless system in place and available; And wherein the use of T-1 lines would also be the method of operation at the time the police department is expanded to a new location;

NOW THEREFORE, BE IT RESOLVED, by the City Commission of the City of Wildwood, Florida:

SECTION 1. Century Link is hereby deemed to be the sole source for providing hard line connection for the operation of the Communication System at the Wildwood Police Department and the purchase of this needed service is approved as quoted and recommended by Chief Reeser.

PASSED AND RESOLVED, this 14th day of November, 2011.

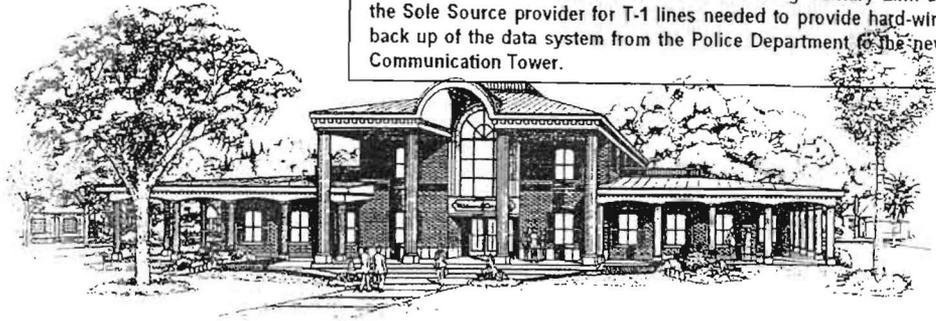
CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

S E A L

ATTEST: \_\_\_\_\_  
Joseph Jacobs, City Clerk

\_\_\_\_\_  
Ed Wolf, Mayor

City of  
Wildwood,  
Florida



3. NEW BUSINESS – ACTION REQUIRED c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower.

**DATE: October 31, 2011**

**TO: Joseph Jacobs, Interim City Manager**

**FROM: E.W. Reeser, Chief of Police** 

**RE: City Communication lines, Police Department - Tower**

---

In 2008, the 180 foot Communication Tower for the City of Wildwood was replaced. The new 240 foot tower was moved to 400 Roy Street. Efforts were made to have a connection between the Police Department and the tower, along with a wireless back-up system. Upon completion of the construction, we operated on the back-up system, while negotiating with CSX railroad. Cost to bore under the tracks was estimated to be about \$36,000.00. Due to the fact there are current plans to relocate the police department to CR213, in the future, the cost was not deemed financially responsible. The next options were to explore overhead lines and T-1 lines. Robert Smith looked into the legality of running lines over CSX property, However I believe the legal web and cost may be too expensive and would still only be a temporary solution. The exposed lines would make it easy for a person to disrupt communication at the police department and the lines would be subjected to weather.

The last option is to utilize T-1 lines, through Century Link. The lines could be used currently and at the future C.R. 213 location.

On August 19, 2011 the Police Department received a lightning strike and took out the wireless link between the Police Department and the tower, losing radio and data. The wireless system was meant to be the back-up to the hard wire. Without the hard wire, we are susceptible to losing communication with officers, other agencies and a loss of data. This creates a high risk for the citizens and liability to the City.

Cost of each line is dependent on the length of contract.

T1 pricing between PD & the Tower:

12 month term agreement = \$318 per month

24 month term agreement = \$308 per month

36 month term agreement = \$300 per month

60 month term agreement = \$284 per month

I would recommend the two T-1 lines with longest term and least cost being a 60 month term agreement at \$284.00 per month per line. Cost to the City would be \$6816.00 annually.

Termination ends would cost about \$1500.00 for the two lines. (One time cost)

**Products and Services Agreement**

This Products and Services Agreement ("Agreement") between **CENTURYLINK SALES SOLUTIONS, INC.**, as contracting agent on behalf of the applicable affiliated entities providing the Products and Services ("CenturyLink") and City of Wildwood Police Department ("Customer") sets forth the terms and conditions for CenturyLink's provision of those Products and Services to Customer.

- 1. **SERVICES.** CenturyLink will sell to Customer the Services listed on the Services List, attached and incorporated by this reference. This Agreement is effective on the date all parties have signed below ("Effective Date") and continues for the longest Order Term listed on the Services List.
- 2. **PURCHASE ORDERS.** This Agreement controls over any Customer-issued purchase order, and any terms or conditions contained in a Customer-issued purchase order or other Customer ordering document will have no force or effect.
- 3. **UNIFORM RESOURCE LOCATORS (URLS).** References to URLs in this Agreement include any successor URLs designated by CenturyLink.
- 4. **ENTITY.** For an interim period until all work is completed to update systems and platforms related to the combination of EMBARQ and CenturyTel, and the acquisition of Qwest, the names EMBARQ and CenturyTel may be used in association with the products and services provided by CenturyLink in this Agreement and Qwest products and services will be sold under a separate agreement.

**AGREED:**

**CENTURYLINK SALES SOLUTIONS, INC.**

**City of Wildwood Police Department**

By: \_\_\_\_\_  
 Printed: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_

By: \_\_\_\_\_  
 Printed: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_

**Address for Notices:** Sales Administration  
 665 Lexington Avenue  
 Mailstop: OHMANB0107  
 Mansfield, OH 44907

**Customer Address:** 100 E. Huey St.  
 Wildwood, FL 34785

And if related to a dispute to:  
 CenturyLink – Attn: Sr. Assistant  
 General Counsel, Commercial Law  
 5454 W. 110<sup>th</sup> Street  
 Overland Park, KS 66211

**Address for Notices (if different from above):**

Sales Rep: Paul Boynton  
 Sales Rep Phone: (352) 368-8805

3. NEW BUSINESS - ACTION REQUIRED: c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower

**SERVICES LIST**

1. **SERVICES.** CenturyLink will provide to Customer those Services identified in the CenturyLink Price Quotes, attached and incorporated by this reference (each, a "Price Quote"). The name of the local operating company providing Services to Customer is listed on each Price Quote. Services are purchased on either a month-to-month basis or for a specific term for the particular Service ordered (each, an "Order Term"), as listed in each Price Quote. Each Order Term begins on the first day of the first billing month after CenturyLink installs and makes that Service available to Customer. If Customer continues to receive a Service after expiration of the Service's applicable Order Term, CenturyLink will provide that Service on a month-to-month basis at its then-current list pricing and then-current terms and conditions, unless the parties otherwise agree in writing. CenturyLink will make the Services available only after its compliance with any state-specific regulatory filing requirements.

CenturyLink Price Quote Number(s): **11-047105**

2. **PRICING.**

- 2.1 **Monthly Recurring Charges ("MRC") or Monthly Recurring Rates ("MRRs").** CenturyLink will charge Customer the MRCs or MRRs for the Services described in each Price Quote. For purposes of this Agreement, MRCs and MRRs have the same meaning and may be used interchangeably.
- 2.2 **Non-recurring Charges ("NRC") or Non-recurring Rates ("NRRs").** CenturyLink will charge Customer NRCs or NRRs related to the Services described in each Price Quote. For purposes of this Agreement, NRCs and NRRs have the same meaning and may be used interchangeably.
- 2.3 **Additional Charges.** Rates do not include applicable local, state, or federal taxes, fees, or surcharges that CenturyLink may bill Customer.
- 2.4 **Additional Payment Requirements.** If Customer is not able to establish a satisfactory credit rating with CenturyLink, CenturyLink, in its sole discretion, may require Customer to submit a deposit or make an advance payment in connection with obtaining or maintaining the Services.

3. **TERMS AND CONDITIONS.** CenturyLink provides Services under the applicable terms and conditions listed and incorporated by reference on each Price Quote. Except for Services provided under Tariffs, in the event of any inconsistencies or conflicts between this Agreement and the applicable terms and conditions, this Agreement will take precedence.
4. **TERMINATION.** If Customer gives notice of cancellation or termination, disconnects any portion of a Service or otherwise breaches this Agreement resulting in the termination of a Service prior to the end of the applicable Order Term, termination liability will apply as calculated and set forth in the applicable terms and conditions listed and incorporated by reference on each Price Quote. If no termination liability is specified for Services in these terms and conditions, Customer will be liable for 50% of the monthly payments that would otherwise remain in the applicable Order Term.
5. **RELATED PRODUCT PURCHASES.** Customer may purchase Products related to the Services at the CenturyLink then-current list pricing and subject to the then-current Standard Terms and Conditions for Communications Services, the Equipment Sales Product Annex, and other applicable annexes based on Customer's selection of Products, all as posted to [http://about.centurylink.com/legal/rates\\_conditions.html](http://about.centurylink.com/legal/rates_conditions.html).

For use with Embarq Standard Terms and Conditions for Communications Services (“Standard Terms and Conditions”). This Annex is not applicable to Embarq Services governed by Tariffs on file with the FCC or state regulatory authorities.

### EMBARQ LOCAL GOVERNMENT CUSTOMER ANNEX

This Embarq Local Government Customer Annex (“Annex”), together with the applicable cover agreement, modifies the Standard Terms and Conditions. This Annex takes precedence over all other conflicting terms and conditions of the Agreement. When attached to the applicable cover agreement, this Annex supersedes the version posted at [www.embarq.com/ratesandconditions](http://www.embarq.com/ratesandconditions).

1. **Eligibility and Applicability.** This Annex is available to all local governmental entities and agencies in connection with the purchase of Embarq Products and Services sold under the Standard Terms and Conditions. Embarq defines “local governmental entities and agencies” as local entities and agencies, specifically excluding all state and federal entities and agencies, that receive their primary funding support through the allocation of appropriated public funds and are entitled to exercise sovereign rights and privileges.
2. **Indemnity.** Customer will honor all indemnity provisions under the Agreement only to the maximum extent permitted by applicable law. No section of the Agreement is intended to create a waiver of Customer’s rights or privileges as a sovereign entity.
3. **Nonappropriation.**
  - 3.1. **Definition.** A “nonappropriation” occurs when Customer is unable to secure or allocate sufficient funds in its operating budget to fulfill its financial obligations under the Agreement.
  - 3.2. **Effect.** If a nonappropriation occurs during the Term, Customer may terminate the Agreement at the end of the then-current fiscal period (“Termination Date”) without incurring any termination liability. Customer will not be obligated for payments for any fiscal period after the Termination Date.
  - 3.3. **Notice.** Customer will give Embarq written notice of any termination under this section at least 30 days before the Termination Date. At Embarq’s request, Customer will promptly provide supplemental documentation about the nonappropriation.
  - 3.4. **Limitations.**
    - A. Customer must take all necessary action to budget and secure any funds required to fulfill its contractual obligations for each fiscal year during the Term, including the exhaustion of all available administrative appeals if funding is initially denied.
    - B. If Customer terminates the Agreement under this provision, Customer will not obtain the Services described in the Agreement from Embarq or from any other provider for a period of 180 days after the Termination Date. This obligation will survive termination of the Agreement for nonappropriation.
4. **Damages.** The Agreement does not create an obligation by Customer to pay any damages in excess of those amounts legally available to satisfy Customer’s obligations under the Agreement.
5. **Ownership and Confidentiality.** The Agreement is a copyrighted work authored by Embarq and may contain Embarq trademarks, trade secrets, and other proprietary information. Embarq acknowledges that the Agreement may be subject to disclosure in whole or in part under applicable Freedom of Information, Open Records, or Sunshine laws and regulations (collectively, “FOI”). Customer will provide Embarq with prompt notice of any intended FOI disclosures or post-execution FOI requests, citations to or copies of applicable FOI for review, and an appropriate opportunity to seek protection of Embarq confidential and proprietary information consistent with all applicable laws and regulations.
6. **Governing Law.** The Agreement and the rights and obligations of the parties are governed by the laws of the U.S. State where Embarq provides the Products and Services, without regard to that State’s conflict of laws principles.

City of Williston Police Dept.  
Proposal For CenturyLink TransLink  
Proposal Date: 11/10/2011  
Expire Quote Date: 1/9/2012  
Customer Copy - Quote #: 11-047105



3. NEW BUSINESS - ACTION REQUIRED. c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower

**Customer Contact Information:**

Company Name: City of Wildwood PD  
Billing Address: 100 E. Huey St.  
Billing City, State, Zip: Wildwood FL 34785  
BAN ID: New BAN ID  
Customer Contact Name: Eddie Reeser  
Customer Contact Phone: 352-330-1355  
Customer Contact E-mail: reeserew@flcjn.net

**Customer Service Location:**

Primary Location Name: City of Wildwood  
Address: 100 HUEY ST  
Site City, State, Zip: WILDWOOD FL 34785-4516  
NPA-NXX: 352-330  
On-Site Contact Name: Eddie Reeser  
Work TN: 352-330-1355

**Telco Central Office Information:**

Telco: Embarq Florida, Inc.  
Serving Central Office CLLI: WLWDFLXA  
Serving Central Office Address: 104 HALL ST  
Serving Central Office City, State, Zip: WILDWOOD FL 34785

Secondary Location Name: Wildwood Police Tower  
Address: 400 Roy St.  
Site City, State, Zip: Wildwood FL 34785  
NPA-NXX: 352-330  
On-Site Contact Name: Eddie Reeser  
Work TN: 352-330-1355

**Telco Central Office Information:**

Telco: Embarq Florida, Inc.  
Serving Central Office CLLI: WLWDFLXA  
Serving Central Office Address: 104 HALL ST  
Serving Central Office City, State, Zip: WILDWOOD FL 34785

**CenturyLink Contact Information:**

Sales Person: Paul Boynton [ZSR]  
Email: paul.boynton@centurylink.com  
Sales Contact Number: 352-368-8805  
Dealer Code:

Engineer: N/A  
Email: N/A  
Engineer Contact Number: N/A

**Service Description:**

Type of Service: CenturyLink TransLink (Qty: 2)  
Term Agreement: 60 month

Charge Detail:

*CenturyLink Proprietary and Confidential*

City of Williston Police Dept.  
 Proposal For CenturyLink TransLink  
 Proposal Date: 11/10/2011  
 Expire Quote Date: 1/9/2012  
 Customer Copy - Quote #: 11-047105



Qty	Price Plan	Feature Code	Item	MRR	NRR
4	PPEQ60815	EQ6081	Channel Termination 1.544 mbps	\$568.00	
4			Channel Termination 1.544 mbps		\$1,400.00
1			Service Order Charge - SOC		\$32.00
			TOTAL	\$568.00	\$1,432.00

**Additional Terms and Conditions:**

- At [http://about.centurylink.com/legal/rates\\_conditions.html](http://about.centurylink.com/legal/rates_conditions.html), the following information will direct you to the applicable terms and conditions for the Services:  
 Entity: Embarq Florida, Inc.  
 Service: CenturyLink TransLink
- The prices quoted apply only to the sites included in the Quote and will not apply if Customer adds, changes or moves site locations. Rates, charges and discounts for Service elements not identified appear in the applicable terms and conditions identified above. Prices do not include taxes or applicable surcharges that Embarq may bill Customer. Unless this Quote is incorporated into a signed agreement, it is non-binding. Except for charges described in this Quote, the applicable Embarq terms and conditions identified above will control over any inconsistencies or conflicts between the Quote and the terms and conditions.

3. NEW BUSINESS - ACTION REQUIRED c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower

## Pam Law

**From:** Joseph Jacobs [jjacobs-wildwood@cfl.rr.com]  
**Sent:** Thursday, November 10, 2011 12:09 PM  
**To:** Pam Law; Jerri Blair  
**Cc:** reeserew@mail.flcjn.net  
**Subject:** Fw: T1  
**Attachments:** SCAN2577\_000.pdf

3. NEW BUSINESS – ACTION REQUIRED c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower

Jerri:

Please review the attached contract/agreement from the phone company relative to the request from the PD for T-1 lines. We are including it with the other information on the agenda. (Pam, please copy and include the scanned document on the agenda as well.)

Joseph

----- Original Message -----

**From:** Edward Reeser  
**To:** jjacobs-wildwood@cfl.rr.com  
**Cc:** valentinopj@flcjn.net  
**Sent:** Thursday, November 10, 2011 12:02 PM  
**Subject:** T1

Joseph,

Attached is documentation regarding the T1 lines, I did not know if you wanted to provide it to the Commission and/or have Jeri review.

Below is Questions and answers. Answers are in blue.

Chief Reeser, see attached agreement (print out all three attachments) for the two point to point Dedicated Translink T1's. Also, see below the answers to your questions. Please let me know if you have additional questions. Thanks PLB

---

**From:** Boynton, Paul L  
**Sent:** November 09, 2011 05:03  
**To:** 'reeserew@flcjn.net'  
**Cc:** valentinopj@flcjn.net  
**Subject:** RE: PD to Tower point to point T1 pricing.

Chief Reeser, I will send you an updated agreement for the 2 T1's and answer your questions in the morning. Hope you have a great night. Thanks PLB

---

**From:** Edward Reeser [mailto:reeserew@flcjn.net]  
**Sent:** November 09, 2011 04:02  
**To:** Boynton, Paul L  
**Cc:** valentinopj@flcjn.net  
**Subject:** RE: PD to Tower point to point T1 pricing.

Good afternoon Paul,

The T-1 lines go to the Commission on the 14th. I'm requesting two lines, one for radio and one for data. In case they ask me anything, I have a couple of questions.

11/11/2011

1- is there a contract the City has to sign on the 60 month lease? See Attached agreement.  
if so, can you provide me a copy? Also will it have in there the lines are transferable to the 700 walker road address (new PD location). We can & will move the lines to the new location when it is completed.

2- is there any cost to the City for running the lines? MRR monthly recurring revenue = monthly amount \$568 & NRR no recurring revenue = one-time installation cost \$1432.

3-What does T-1 stand and what is the best way to describe what it is to Commissioners? 2 Point to point Dedicated Translink T1 circuits between two locations.

4- depending #2, I would assume the only cost to the City would be the one time cost of the terminal ends (4) and the monthly lease. You are correct, see above and the updated quote attachment.

Thank you,

E.W. Reeser

Chief of Police  
Wildwood Police Department  
100 East Huey Street  
Wildwood, Florida 34785  
(352) 330-1355

...History will have to record that the greatest tragedy of this period of social transition, was not the vitriolic words and the violence actions of the bad people, but the appalling silence and indifference of the good people. - Dr. M.L. King Report  
crime, get involved!

CONFIDENTIALITY NOTE: This e-mail and any attachments are confidential and may be protected by legal privilege. If you are not the intended recipient, be aware that any disclosure, copying, distribution or use of this e-mail or any attachment is prohibited. If you have received this e-mail in error, please notify us immediately by returning it to the sender and delete this copy from your system. Thank you for your cooperation.

3. NEW BUSINESS - ACTION REQUIRED: c. RESOLUTIONS FOR APPROVAL(2) Resolution No. R2011-31 declaring Century Link as the Sole Source provider for two T-1 lines needed to provide hard-wire back up of the data system from the Police Department to the new Communication Tower

**CITY COMMISSION OF THE CITY OF WILDWOOD**

3. NEW BUSINESS - ACTION REQUIRED c RESOLUTIONS FOR APPROVAL  
(3) Resolution No. R2011-32 providing for a unique purchasing opportunity for materials, engraving & lettering of crypts from Southern Monument Studio, Inc., at a cost of \$6,340 to repair the deteriorating Mausoleum in Greenwood Cemetery

**EXECUTIVE SUMMARY**

**SUBJECT:** Mausoleum Damage At Greenwood Cemetery *Resolution #R2011-32*

**REQUESTED ACTION:** Approval for unique purchasing Opportunity with Southern Monument Studio, Inc.

Work Session (Report Only)      **DATE OF MEETING:** 11/14/2011  
 Regular Meeting                               Special Meeting

**CONTRACT:**       N/A                              Vendor/Entity: \_\_\_\_\_  
Effective Date: \_\_\_\_\_                      Termination Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

**BUDGET IMPACT:**                      \$6,940.00

Annual                      **FUNDING SOURCE:**                      Greenwood Cemetery funds on hand  
 Capital                      **EXPENDITURE ACCOUNT:**              101-069-569.046  
 N/A

**HISTORY/FACTS/ISSUES:**

Another unit of the Mausoleums in Greenwood Cemetery has begun deteriorating to the point Of the fronts of the crypts just crumbling and falling off. Open spaces are left for the public to view which has generated numerous calls about how bad this looks.

The Mausoleums were abandoned by the developer and the City petitioned the State some years back to take control because of the condition the mausoleums were in at that time because of no maintenance. The situation has just gotten worse.

The City did extensive renovations and upgrades a couple of budgets back to another unit of the Mausoleum based on the deteriorating conditions and due to vandalism, but staff does not feel that vandalism is part of the problem that exists now and that the same type renovations and upgrade is needed for this unit façade.

Southern Monument Studio, Inc. Of Leesburg, Florida quoted and was awarded the project of replacing the granite fronts and also of engraving and lettering the crypts as they previously existed

For the price of \$6,340.00 and Southern Monument Studio has agreed to do the same professional job to the unit that is in question at this time, only adding additional engraving fees because of their being more interred bodies in this unit than the previous.

Authorization is sought to consider this a unique purchasing opportunity because of the satisfaction and quality of work and professionalism displayed by Southern Monument Studio, and also because there was no one else who indicated an interest in doing the previous work, wherein professional engraving and lettering is an important aspect of the work to be done.

Staff recommends approval.

Joseph Jacobs

RESOLUTION NO. R2011-32

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WILDWOOD, FLORIDA, DECLARING A UNIQUE PURCHASING OPPORTUNITY EXISTS FOR REPAIRS TO THE MAUSOLEUM IN GREENWOOD CEMETERY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Southern Monument Studio, Inc. of Leesburg, Florida previously quoted and performed acceptable work to replace the facades of one of the units of the mausoleum structures; and,

WHEREAS, because of the nature of the repair which involves and entails professional engraving work for the crypts where bodies are interred, and not just supplying the material only; and

WHEREAS, another of the unit fronts of the mausoleum has begun to crumble and break away due to age and deterioration and thereby leaving large open gaps and possible exposure to interred bodies, as well as not being very pleasing to look at; and

WHEREAS, Southern Monument Studio, Inc. has provided a quote and agreed to do the same repair and replacement job to the façade of the newly decaying unit **at the same price as previously quoted of \$6,340.00 plus and additional \$600 because there are (4) more actual burials existing that require engraving of the information previously put on by the families of the deceased;** and

WHEREAS, Southern Monument Studio, Inc is actively involved on a day to basis of working with monuments and providing professional engraving for monuments ;

NOW THEREFORE, BE IT RESOLVED, by the City Commission of the City of Wildwood, Florida:

SECTION 1. The quotation from Southern Monument Studio, Inc. is a unique purchasing opportunity, although not a sole source, because of the ability of the supplier to provide the much important engraving and lettering needed to complete the project and the City Manager is authorized to award the project to Southern Monument Studio, Inc. at the quoted price of \$6,940.00

PASSED AND RESOLVED, this 14th day of November, 2011.

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

S E A L

ATTEST: \_\_\_\_\_  
Joseph Jacobs, City Clerk

\_\_\_\_\_  
Ed Wolf, Mayor

# Southern Monument Studio, Inc.

3. NEW BUSINESS - ACTION REQUIRED c RESOLUTIONS FOR APPROVAL  
 S. Resolution No. 2011-25 providing for a unique purchasing opportunity for materials, engraving & lettering of crypts from Southern Monument Studio, Inc., at a cost of \$3,340 to repair the deteriorating Mausoleum in Greenwood Cemetery

*ADD Subject Greenwood Cemetery*

Date  
06/02/2011  
Invoice #

404 North Boulevard East  
Leesburg, Florida 34748  
Phone (352)-787-3261  
Fax (352)-787-8803

### Purchaser

Name  
CITY OF WILDWOOD, ATTN: JOSEPH JACOBS  
Address  
100 NORTH MAIN STREET  
City State Zip Code  
WILDWOOD FL 34785  
Phone Fax  
(352) 330-1330 (352) 330-1338  
Email

### Notes

QUOTATION~  
SAME PRICE AS PREVIOUS

### Item

Item 1 GREENWOOD CEMTERY, WILDWOOD~
Item 2 (12) GOLD LEAF GRANITE DOORS
Item 3 (32) HOLES CORED IN DOORS
Item 4 (8) OF THE DOORS LETTERED
Item 5 (NOTE: THERE ARE 4 MORE LETTERED THAN PREVIOUS @ \$150 EACH)
Item 6
Item 7
Item 8
Item 9
Item 10
Item 11
Item 12
Item 13
Item 14
Item 15
Item 16
Item 17
Other

\$6,940.00
------------

Sub Total

\$6,940.00

Tax

\$0.00

Balance Due

\$6,940.00

Payment  
Payment  
Payment

*We Appreciate Your Business*

# City of Wildwood, Florida

100 N. Main Street  
Wildwood, Florida 34785

TO: Mayor/Commissioners

FROM: David Grimm, City Projects Planner/Coordinator

RE: Tot Lot History / Summary and Current Status

DATE: November 14, 2011

In the summer of 2010, FDEP inquired whether the City of Wildwood would be interested in purchasing a parcel owned by that agency which was located on High Street (Parcel ID:G06J038). The parcel is adjacent to an existing City parcel that formerly contained a water storage tank.

Kimley-Horn was asked to review the site and confirmed that it was not of sufficient size to be used for storm drainage but that it was suitable, when combined with the adjoining lot, to be developed into a "Tot Lot" (small playground for younger children with a pavilion).

At the direction of the Commission the City purchased the lot from FDEP. The title was obtained by Quitclaim Deed and recorded on January 26, 2011.

A preliminary design meeting was held and it was determined that a boundary survey and topo would be necessary to proceed with the project. A. Duchart Land Surveying performed the boundary survey and topo and staked out the combined lot for the City.

The survey crew placed corner stakes and this was noticed by the adjoining property owner, Mrs. Adeline Coachman. She felt that the some or possibly all of the area within the stakes was actually within her property boundary. Mrs. Coachman and her children requested a meeting with City staff to discuss her concerns and this meeting was scheduled.

Because of the concerns of Mrs. Coachman, the City Staff instructed the City Attorney to conduct a title search and instructed A. Duchart to perform surveys of both City and Coachman properties.

The title search and survey confirmed that the parcel in question was indeed owned by the City. In reviewing the surveys, it became apparent that both the City and Coachman parcels were "odd shaped" and that a simple property swap could be made that would result in much more practical and usable lots. A. Duchart redesigned the parcels as requested and it resulted in no loss or gain in overall area to either party. A meeting was scheduled with the Coachman family to discuss the findings of the title search and to suggest a property swap to benefit both parties.

The meeting was held and copies of the newly configured lots were handed out to all parties and thoroughly discussed. Mrs. Coachman, her children and City Staff all agreed that the new parcels were much better for all concerned. It was agreed that City would bear all costs associated with the surveys, legal descriptions and title work. The City Attorney was then instructed to proceed with the preparation of the deeds.

\*\*\*\*\*

EXHIBIT "A"

A PORTION OF LOT 'H', "KILGORES ADDITION TO WILDWOOD," AS RECORDED IN PLAT BOOK 1, PAGE 81, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF LOT 'H', THENCE NORTH 67°36'49" WEST 77.75 FEET TO THE POINT OF BEGINNING; THENCE NORTH 09°27'44" EAST 56.57 FEET; THENCE NORTH 67°36'49" WEST 26.64 FEET; THENCE SOUTH 05°11'55" WEST 57.71 FEET; THENCE SOUTH 67°36'49" EAST 22.24 FEET TO THE POINT OF BEGINNING.

THE DESCRIBED PROPERTY CONTAINS 1,348 SQUARE FEET MORE OR LESS.

**RESOLUTION NO. R2011-33**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WILDWOOD, FLORIDA DETERMINING THAT CERTAIN REAL PROPERTY IS SURPLUS; DETERMINING THAT SAID REAL PROPERTY SHOULD BE USED IN A MANNER TO FURTHER THE PUBLIC INTEREST; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Wildwood is the owner of certain real property identified in the attached Exhibit "A"; and,

WHEREAS, the City has a need for a parcel of real property located within close proximity to the property described in Exhibit "A", which is owned by Adeline Coachman and,

WHEREAS, Adeline Coachman has agreed to deed the parcel of real property for which the City has a use to the City in exchange for the property owned by the City described in the attached Exhibit "A"; and,

WHEREAS, the City Commission of the City of Wildwood has determined that the real property identified in the attached Exhibit "A" is surplus because it is of no use to the City and in an effort to further the public interest will exchange the property described in the attached Exhibit "A", for the parcel of real property now owned by Adeline Coachman.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COMMISSION OF THE CITY OF WILDWOOD, FLORIDA, THAT:

1. The property described in the attached Exhibit "A" is hereby declared surplus property. This property may be disposed of by exchanging said property with Adeline Coachman for property currently owned by Adeline Coachman which will be useable by the City.

2. This Resolution shall take effect immediately upon its final adoption by the City Commission of the City of Wildwood, Florida.

DONE AND RESOLVED, this \_\_\_\_\_ day of \_\_\_\_\_, 2011, in regular session, by the City Commission of the City of Wildwood, Florida.

CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

SEAL

By: \_\_\_\_\_  
Ed Wolf, Mayor

ATTEST:

\_\_\_\_\_  
Joseph Jacobs, City Clerk

3. NEW BUSINESS - ACTION REQUIRED. c. RESOLUTIONS FOR APPROVAL  
(4) Resolution No. R2011-33 declaring certain City owned unusable real property surplus and disposing of said property by exchanging it for property currently owned by Adeline Coachman which will be useable by the City for a Planned Tot Lot

3. NEW BUSINESS - ACTION REQUIRED. c. RESOLUTIONS FOR APPROVAL  
(4) Resolution No. RZ011-33 declaring certain City owned unusable real property surplus and disposing of said property by exchanging it for property currently owned by Adeline Coachman which will be useable by the City for a planned TollLot

TOTAL CONSIDERATION=\$0.00

**THIS INSTRUMENT PREPARED BY AND RETURN TO:**

JERRI A. BLAIR, P.A.  
Post Office Box 130  
Tavares, FL 32778  
(352) 343-3755

Parcel I.D. #:

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

**QUIT CLAIM DEED**

**This Quit Claim Deed** made this \_\_\_\_ day of \_\_\_\_\_, 2011, by and between **Adeline Coachman**, whose mailing address is Post Office Box 555, Wildwood, FL 34785, hereinafter "**Grantor;**" and **The City of Wildwood**, a municipality of the State of Florida whose mailing address is 100 N. Main Street, Wildwood, Florida, hereinafter "**Grantee.**"

WITNESSETH, that said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said Grantee, and Grantee's heirs and assigns forever, all the right, title, interest, claim and demand which Grantors have in and to the following described land, situate, lying, and being in **Sumter County, Florida** to-wit:

See attached Exhibit "A"

**This document is prepared without benefit of title exam, title insurance, or opinion.**

**TO HAVE AND TO HOLD**, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title interest, lien, equity and claim whatsoever of Grantors, either in law or in equity, for the use, benefit and profit of the said Grantee forever.

**IN WITNESS WHEREOF**, Grantor has caused these presents to be executed in its name, the day and year aforesaid.

\_\_\_\_\_  
ADELINE COACHMAN

STATE OF FLORIDA        )  
COUNTY OF SUMTER     )

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, ADELINE COACHMAN, who is personally known to me or who produced \_\_\_\_\_ as identification and who did/did not take an oath on and he/she acknowledged before me that he/she executed the same freely and voluntarily for the purposes therein expressed on \_\_\_\_ day of October, 2011.

\_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Notary Name Printed  
My Commission Expires:

EXHIBIT "A"

A PORTION OF LOT 'H', "KILGORES ADDITION TO WILDWOOD," AS RECORDED IN PLAT BOOK 1, PAGE 81, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF LOT 'H', THENCE NORTH 67°36'49" WEST 52.23 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 67°36'49" WEST 25.52 FEET; THENCE SOUTH 09°27'44" WEST 55.56 FEET; THENCE SOUTH 73°08'29" EAST 25.09 FEET; THENCE NORTH 09°27'44" EAST 53.08 FEET TO THE POINT OF BEGINNING.

THE DESCRIBED PROPERTY CONTAINS 1,359 SQUARE FEET MORE OR LESS.



3. NEW BUSINESS - ACTION REQUIRED. c. RESOLUTIONS FOR APPROVAL  
(4) Resolution No. R2011-33 declaring certain City owned unusable real property surplus and disposing of said property by exchanging it for property currently owned by Adeline Coachman which will be useable by the City for a  
planned lot

TOTAL CONSIDERATION=\$0.00

**THIS INSTRUMENT PREPARED BY AND RETURN TO:**

JERRI A. BLAIR, P.A.  
Post Office Box 130  
Tavares, FL 32778  
(352) 343-3755

Parcel LD. #:

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

**QUIT CLAIM DEED**

**This Quit Claim Deed** made this \_\_\_\_ day of \_\_\_\_\_, 2011, by and between, **The City of Wildwood**, a municipality of the State of Florida whose mailing address is 100 N. Main Street, Wildwood, Florida, hereinafter **“Grantor;”** and **Adeline Coachman**, whose mailing address is Post Office Box 555, Wildwood, FL 34745 hereinafter **“Grantee.”**

WITNESSETH, that said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said Grantee, and Grantee’s heirs and assigns forever, all the right, title, interest, claim and demand which Grantor have in and to the following described land, situate, lying, and being in **Sumter County, Florida** to-wit:

See attached Exhibit “A”

**This document is prepared without benefit of title exam, title insurance, or opinion.**

**TO HAVE AND TO HOLD**, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title interest, lien, equity and claim whatsoever of Grantors, either in law or in equity, for the use, benefit and profit of the said Grantee forever.

**IN WITNESS WHEREOF**, Grantor has caused these presents to be executed in its name by its Board of City Commissioners acting by the chair of said board, the day and year aforesaid.

3. NEW BUSINESS - ACTION REQUIRED. c. RESOLUTIONS FOR APPROVAL  
(4) Resolution No. R2011-33 declaring certain City owned unusable real property surplus and disposing of said property by exchanging it for property currently owned by Adeline Coachman which will be useable by the City for a planned Tor Lot

ATTEST:

THE CITY OF WILDWOOD, a  
Municipality of the State of Florida

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
By: ED WOLF, Mayor

STATE OF FLORIDA        )  
COUNTY OF SUMTER     )

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, \_\_\_\_\_, and \_\_\_\_\_, as City Clerk, who is personally known to me or who produced \_\_\_\_\_ as identification and who did/did not take an oath on and he/she acknowledged before me that he/she executed the same freely and voluntarily for the purposes therein expressed on \_\_\_\_ day of October, 2011.

\_\_\_\_\_  
(SEAL)

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Notary Name Printed  
My Commission Expires:

EXHIBIT "A"

A PORTION OF LOT 'H', "KILGORES ADDITION TO WILDWOOD," AS RECORDED IN PLAT BOOK 1, PAGE 81, PUBLIC RECORDS OF SUMTER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF LOT 'H', THENCE NORTH 67°36'49" WEST 77.75 FEET TO THE POINT OF BEGINNING; THENCE NORTH 09°27'44" EAST 56.57 FEET; THENCE NORTH 67°36'49" WEST 26.64 FEET; THENCE SOUTH 05°11'55" WEST 57.71 FEET; THENCE SOUTH 67°36'49" EAST 22.24 FEET TO THE POINT OF BEGINNING.

THE DESCRIBED PROPERTY CONTAINS 1,348 SQUARE FEET MORE OR LESS.

# BOUNDARY SURVEY

**LEGAL DESCRIPTION:**

A PORTION OF LOT "H", "KILGORE'S ADDITION TO MILWOOD", AS RECORDED IN PLAT BOOK 1, PAGE 81, CITY OF MILWOOD, SUMNER COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
 COMMENCE AT THE SOUTHEAST CORNER OF WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF LOT "H"; THENCE NORTH 87°36'49" WEST 77.78 FEET TO THE POINT OF BEGINNING; THENCE NORTH 09°27'44" EAST 58.57 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF HIGH STREET; THENCE NORTH 87°36'49" WEST ALONG THE AFOREMENTIONED SOUTH RIGHT OF WAY LINE 132.39 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 23 EAST; SOUTH 00°07'50" WEST ALONG THE AFOREMENTIONED WEST LINE 180.16 FEET; THENCE NORTH 84°42'09" EAST 128.85 FEET; THENCE NORTH 73°08'29" WEST 25.09 FEET; THENCE NORTH 09°27'44" EAST 55.56 FEET TO THE POINT OF BEGINNING.  
 CONTAINING 0.396 ACRES MORE OR LESS.



SCALE: 1" = 40'

**SURVEYOR'S NOTES:**

1. BEARINGS ARE ASSUMED REFERRED TO THE SOUTH LINE OF HIGH STREET, HAVING A BEARING OF 58°36'49"E
2. BUILDING SETBACKS SHOWN HEREON WERE TAKEN AT THE FOUNDATION OF BUILDING.
3. VISIBLE EASEMENTS OR ENCROACHMENTS ARE SHOWN OR NOTED HEREON.
4. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
5. THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT OR TITLE ABSTRACT AND THEREFORE MAY NOT NECESSARILY SHOW ALL RIGHTS-OF-WAY, EASEMENTS OR OTHER ENCUMBRANCES OF RECORD.
6. UNDERGROUND IMPROVEMENTS, UTILITIES OR ENCROACHMENTS NOT LOCATED.
7. COPIES OF DEED BOOK 97, PAGE 328, AND OIL CLAIM DEED No. 32261 WERE SUPPLIED BY THE CITY OF MILWOOD.

**ABBREVIATIONS:**

- ORB = OFFICIAL RECORDS BOOK
- LB = LICENSED BUSINESS
- E = CENTERLINE
- OHW = OVERHEAD WRES
- CONC = CONCRETE
- EB = ELECTRIC BOX
- (DB) = DEED BOOK 97, PAGE 328
- FCM = FOUND 4"x4" CONCRETE MONUMENT "NO I.D."
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- CLF = CHAIN LINK FENCE
- FIR = FOUND 5/8" IRON ROD "NO I.D."
- IR = FOUND 5/8" IRON ROD & CAP "L84709"
- FIRC = FOUND 5/8" IRON ROD & CAP "L86619"
- WM = WATER METER
- PP = POWER POLE
- SIR = SET 5/8" IRON ROD & CAP "PS45898"
- (OC) = OIL CLAIM DEED No. 32261
- (M) = MEASURED
- R/W = RIGHT OF WAY
- I.D. = IDENTIFICATION
- CM = CONCRETE MONUMENT "LB707"

OCTOBER 2, 2011

*Alexander G. Duchart*  
 ALEXANDER G. DUCHART  
 PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION NO. 5998

CLIENT	MILWOOD	UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THE BOUNDARY SURVEY IS FOR INFORMATION ONLY AND IS NOT VALID
JOB NO.	08-11-11	
ADAD FILE	COACHMAN-PARCEL	
FIELD DATE	N/A	CHECKED BY: SD
DRAWN BY:	SD	FLD. BOOK: N/A
REVISIONS	DATE	

**A. DUCHART LAND SURVEYING, INC.**  
 7403 VERMONT AVENUE EAST  
 BRADENTON, FL 34208  
 aduchart@qmail.com  
 1-800-698-0760

- Boundary
- Construction
- Platting
- ALTA
- Topographic



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ALEXANDER DUCHART P.S.M.

3. NEW BUSINESS – ACTION REQUIRED  
d. Appointments  
Appointment of Wildwood residents to two Lake-Sumter MPO committees: CAC & BPAC



October 24, 2011

REC'D 10.26.11  
DATE PR  
EXECUTIVE DEPT.

Mr. Robert Smith, City Manager  
City of Wildwood  
100 Main Street  
Wildwood, FL 34785

**RE: Lake~Sumter Metropolitan Planning Organization  
Citizens' Advisory Committee (CAC) and  
Bicycle & Pedestrian Advisory Committee (BPAC)  
Membership Expirations**

Dear Mr. Smith:

This is to advise that the term expiration date for the members appointed by the City of Wildwood to the Lake~Sumter MPO CAC and BPAC is December 31, 2011.

Either current members need to be reappointed or new members appointed for a 2 year term starting January 1, 2012 through December 31, 2013.

The following are the current CAC and BPAC members appointed by the City of Wildwood:

CAC – Stephen Stone, re-appointed 1/11/10  
BPAC – vacant (appointment can be citizen, staff or elected official; however, elected official cannot also be appointed to governing board)

Please feel free to contact Sue Goldfuss or Nancy Valenzano if you have any questions.

Sincerely,

*Susan Goldfuss*

T.J. Fish, AICP  
Executive Director

*Stephen Stone has agreed to serve another 2-yrs. if Commission so desires (for the CAC)*

c: CAC Member / MPO Member

- Lake County
- Sumter County
- Town of Astatula
- City of Bushnell
- City of Center Hill
- City of Clermont
- City of Coleman
- City of Eustis
- City of Fruitland Park
- City of Groveland
- Town of Howey-in-the-Hills
- Town of Lady Lake
- City of Leesburg
- City of Mascotte
- City of Minneola
- Town of Montverde
- City of Mount Dora
- City of Tavares
- City of Umatilla
- City of Webster
- City of Wildwood
- Florida Central Railroad
- Lake County Schools
- Sumter County Schools

**From:** Goldfuss, Susan [mailto:sgoldfuss@lakesumtermpo.com]  
**Sent:** Monday, October 24, 2011 3:14 PM  
**To:** 'astatula@usa2net.net'; 'BergP@ci.eustis.fl.us'; 'Dolly.Miller@groveland-fl.gov'; 'KKollgaard@ladylake.org'; 'Jim.Gleason@cityofmascotte.com'; 'jdagostino@mymontverde.com'; 'jdrury@tavares.org'; 'rsmith-wildwood@cfl.rr.com'  
**Cc:** Fish, TJ; Valenzano, Nancy; Woods, Michael; 'montezm@ci.eustis.fl.us'; 'teresa.begley@groveland-fl.gov'; 'Michelle.Hawkins@cityofmascotte.com'; 'nbarnett@tavares.org'; 'roberts-wildwood@cfl.rr.com'  
**Subject:** LSMPO Citizens' Advisory Comm and Bicycle & Pedestrian Advisory Comm Membership Expirations

Good Afternoon,

Hard copies of the attached have been mailed advising of the need to appoint members to the Lake~Sumter MPO Citizens' Advisory Committee (CAC) and Bicycle & Pedestrian Advisory Committee (BPAC). Current member term expiration date for your jurisdiction is December 31, 2011. Your letter specifies who is currently appointed. You can either re-appoint that person or make a new appointment. The next 2 year term is January 1, 2012 through December 31, 2013.

Please advise our office when appointments have been made so that we can make sure they are notified of the 2012 meeting calendar.

CAC appointment must be a citizen; no staff member or elected official can be appointed to this committee.

BPAC appointment can be a citizen, staff member or elected official; however, an elected official appointed to the BPAC cannot also be appointed to the MPO Board.

Please let me know if you have any questions.

Thank you,  
Sue

*Susan Goldfuss*  
*Executive Assistant*  
*Lake~Sumter MPO*  
***Promoting Regional Transportation Partnerships***  
[www.LakeSumterMPO.com](http://www.LakeSumterMPO.com)

1616 South 14<sup>th</sup> Street  
Leesburg, Florida 34748  
352-315-0170  
Fax 352-315-0993

*Please note: Florida has a very broad public records law. Most written communications to or from local officials regarding organization business are public records available to the public and media upon request. Your e-mail communications may therefore be subject to public disclosure.*

MICHAEL R. MOEHLMAN  
EXECUTIVE DIRECTOR

1241 S.W. 10th Street  
OCALA, FLORIDA 34471-0323

Telephone 352-732-1315  
FAX 352-732-1319  
email: mailbox@wrpc.cc  
http://www.wrpc.cc



3. NEW BUSINESS - ACTION REQUIRED  
d. Appointments  
(2) Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year

JOSEPH E. JOHNSTON, III  
CHAIR

DENNIS DAMATO  
VICE - CHAIR

MARTHA HANSON  
SECRETARY

November 2, 2011

The Honorable Mayor Ed Wolf  
City of Wildwood  
100 N. Main Street  
Wildwood, FL 34785



Dear Mayor Wolf:

It is necessary for municipal officials within your County to select one elected official to represent the municipalities of your county on the **Withlacoochee Regional Planning Council** for a term beginning December 8, 2011 and ending on December 12, 2012.

**Your current representative is Commissioner Ronald Allen of the City of Wildwood.**

**You need to contact other municipalities and towns in your County to select a representative for the coming year.** An appointment needs to be made as soon as possible, as new appointments are eligible to be sworn in at the December 8, 2011 Annual Meeting.

When you have agreed on an individual, please send the name of your representative.

If you have any further questions, please contact me.

Sincerely,

Michael R. Moehlman  
Executive Director

MRM:gr

cc: City of Bushnell  
City of Center Hill  
City of Coleman  
City of Webster

*Sumter Cities Contacted -*

*Bushnell - (OK) for Allen To Continue*  
*Webster - (OK) for Allen To Continue*  
*Center Hill - (OK) for Allen To Continue*  
*Coleman - Response after 11/14 meeting*

*Joseph Jacob 11/8/11*

MICHAEL R. MOEHLMAN  
EXECUTIVE DIRECTOR

1241 S.W. 10th Street  
OCALA, FLORIDA 34471-0323

Telephone 352-732-1315  
FAX 352-732-1319  
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3. NEW BUSINESS - ACTION REQUIRED  
d. Appointments  
(2) Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year

JOSEPH E. JOHNSTON, III  
CHAIR

DENNIS DAMATO  
VICE - CHAIR

MARTHA HANSON  
SECRETARY

November 2, 2011

The Honorable Mayor Stephen P. Croft  
City of Webster  
P.O. Box 28  
Webster, FL 33597

Dear Mayor Croft:

It is necessary for municipal officials within your County to select one elected official to represent the municipalities of your county on the **Withlacoochee Regional Planning Council** for a term beginning December 8, 2011 and ending on December 12, 2012.

**Your current representative is Commissioner Ronald Allen of the City of Wildwood.**

**You need to contact other municipalities and towns in your County to select a representative for the coming year.** An appointment needs to be made as soon as possible, as new appointments are eligible to be sworn in at the December 8, 2011 Annual Meeting.

When you have agreed on an individual, please send the name of your representative.

If you have any further questions, please contact me.

Sincerely,

Michael R. Moehlman  
Executive Director

MRM:gr

cc: City of Bushnell  
City of Center Hill  
City of Coleman  
City of Wildwood

MICHAEL R. MOEHLMAN  
EXECUTIVE DIRECTOR

1241 S.W. 10th Street  
OCALA, FLORIDA 34471-0323

Telephone 352-732-1315  
FAX 352-732-1319  
email: mailbox@wrpc.cc  
http://www.wrpc.cc



3. NEW BUSINESS – ACTION REQUIRED  
d. Appointments  
(2) Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year

JOSEPH E. JOHNSTON, III  
CHAIR

DENNIS DAMATO  
VICE - CHAIR

MARTHA HANSON  
SECRETARY

November 2, 2011

The Honorable Mayor Ralph Barry, Sr.  
City of Center Hill  
P.O. Box 649  
Center Hill, FL 33514

Dear Mayor Barry:

It is necessary for municipal officials within your County to select one elected official to represent the municipalities of your county on the **Withlacoochee Regional Planning Council** for a term beginning December 8, 2011 and ending on December 12, 2012.

**Your current representative is Commissioner Ronald Allen of the City of Wildwood.**

**You need to contact other municipalities and towns in your County to select a representative for the coming year.** An appointment needs to be made as soon as possible, as new appointments are eligible to be sworn in at the December 8, 2011 Annual Meeting.

When you have agreed on an individual, please send the name of your representative.

If you have any further questions, please contact me.

Sincerely,

Michael R. Moehlman  
Executive Director

MRM:gr

cc: City of Bushnell  
City of Coleman  
City of Webster  
City of Wildwood

MICHAEL R. MOEHLMAN  
EXECUTIVE DIRECTOR

1241 S.W. 10th Street  
OCALA, FLORIDA 34471-0323

Telephone 352-732-1315  
FAX 352-732-1319  
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3. NEW BUSINESS – ACTION REQUIRED  
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(2) Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year

JOSEPH E. JOHNSTON, III  
CHAIR

DENNIS DAMATO  
VICE - CHAIR

MARTHA HANSON  
SECRETARY

November 2, 2011

The Honorable Mayor Bill Spaude  
City of Bushnell  
P.O. Box 115  
Bushnell, FL 33513

Dear Mayor Spaude:

It is necessary for municipal officials within your County to select one elected official to represent the municipalities of your county on the **Withlacoochee Regional Planning Council** for a term beginning December 8, 2011 and ending on December 12, 2012.

**Your current representative is Commissioner Ronald Allen of the City of Wildwood.**

**You need to contact other municipalities and towns in your County to select a representative for the coming year.** An appointment needs to be made as soon as possible, as new appointments are eligible to be sworn in at the December 8, 2011 Annual Meeting.

When you have agreed on an individual, please send the name of your representative.

If you have any further questions, please contact me.

Sincerely,

Michael R. Moehlman  
Executive Director

MRM:gr

cc: City of Center Hill  
City of Coleman  
City of Webster  
City of Wildwood

MICHAEL R. MOEHLMAN  
EXECUTIVE DIRECTOR

1241 S.W. 10th Street  
OCALA, FLORIDA 34471-0323

Telephone 352-732-1315  
FAX 352-732-1319  
email: mailbox@wrpc.cc  
http://www.wrpc.cc



3. NEW BUSINESS – ACTION REQUIRED  
d. Appointments  
(2) Request for appointment of a Sumter County Representative to serve on the WRPC (Withlacoochee Regional Planning Council) board for the coming year

CHAIR

DENNIS DAMATO  
VICE - CHAIR

MARTHA HANSON  
SECRETARY

November 2, 2011

Warren Alexander, Council President  
City of Coleman  
P.O. Box 456  
Coleman, FL 33521-0456

Dear President Caruthers:

It is necessary for municipal officials within your County to select one elected official to represent the municipalities of your county on the **Withlacoochee Regional Planning Council** for a term beginning December 8, 2011 and ending on December 12, 2012.

**Your current representative is Commissioner Ronald Allen of the City of Wildwood.**

**You need to contact other municipalities and towns in your County to select a representative for the coming year.** An appointment needs to be made as soon as possible, as new appointments are eligible to be sworn in at the December 8, 2011 Annual Meeting.

When you have agreed on an individual, please send the name of your representative.

If you have any further questions, please contact me.

Sincerely,

Michael R. Moehlman  
Executive Director

MRM:gr

cc: City of Bushnell  
City of Center Hill  
City of Webster  
City of Wildwood

**BILLS FOR APPROVAL**  
**City of Wildwood, Florida**  
**November 14, 2011**

3. NEW BUSINESS – ACTION REQUIRED  
f. (1) Bills for Approval

**CITY COMMISSION-LEGISLATIVE DEPARTMENT**

1	Bank of America	US Airways, National League of Cities	\$	1,031.40
2	PGIT	Workers Comp Insurance	\$	12.65

**CITY MANAGER-EXECUTIVE DEPARTMENT**

3	Payroll	November 6, 2011 Pay Period - 1 Employee	\$	2,062.21
4	Bright House	Internet Service	\$	16.50
5	Dept of Management Services	Telephone Service	\$	4.83
6	Dept of Management Services	Telephone Service	\$	61.10
7	EGP	Monthly Copier Maintenance Contract	\$	19.96
8	Federal Express	Postage	\$	43.72
9	PGIT	Workers Comp Insurance	\$	41.14

**CITY CLERK-FINANCIAL & ADMINISTRATIVE DEPARTMENT**

10	Payroll	November 6, 2011 Pay Period - 4 Employees	\$	10,465.96
11	Bank of America	EIG Start Logic Web Site	\$	179.70
12	Bright House	Internet Service	\$	32.92
13	C.R. 466A Landfill Facility, LLC	Sidewalk Concrete Removal	\$	14.40
14	Dept of Management Services	Telephone Service	\$	5.40
15	Dept of Management Services	Telephone Service	\$	151.13
16	EGP	Monthly Copier Maintenance Contract	\$	19.94
17	Ernie Morris Enterprises Inc	Office Supplies	\$	18.41
18	IMS	Software Maintenance	\$	413.00
19	Office Depot	Office Supplies	\$	158.93
20	Oracle Elevator	Quarterly Maintenance Contract	\$	202.08
21	PC Connection	Cust EPS & Control	\$	1,272.00
22	PGIT	Workers Comp Insurance	\$	65.65
23	Progress Energy	Electrical Service	\$	2,946.14
24	Unifirst	Rugs	\$	23.76
25	Wildwood Ace Hardware	1x6's, Expans Joint, Broom, Cleaner, Etc	\$	33.50
26	Xpress Materials, LLC.	Sidewalk Concrete Pour	\$	82.50

**DEVELOPMENT SERVICES**

27	Payroll	November 6, 2011 Pay Period - 4 Employees	\$	8,710.18
28	Bank of America	Breakers Hotel - J McHugh	\$	355.00
29	Bright House	Internet Service	\$	32.92
30	Dept of Management Services	Telephone Service	\$	4.83
31	Dept of Management Services	Telephone Service	\$	61.10
32	EGP	Monthly Copier Maintenance Contract	\$	19.94
33	PGIT	Workers Comp Insurance	\$	56.94

**HUMAN RESOURCES**

34	Payroll	November 6, 2011 Pay Period - 1 Employees	\$	2,009.83
35	Bright House	Internet Service	\$	8.23
36	Dept of Management Services	Telephone Service	\$	4.83
37	Dept of Management Services	Telephone Service	\$	61.10
38	EGP	Monthly Copier Maintenance Contract	\$	19.94
39	Federal Express	Postage	\$	70.34
40	PGIT	Workers Comp Insurance	\$	9.64

**POLICE DEPARTMENT**

41	Payroll	November 6, 2011 Pay Period - 26 Employees	\$ 51,896.62
42	Bank of America	PC Sales, Microsoft Tech Support, Best Buy	\$ 1,497.48
43	CarQuest Auto Parts	Brake Pads,Fuel Pump, Thermostat, Wiper Blades	\$ 500.27
44	Dept of Management Services	Telephone Service	\$ 48.77
45	Dept of Management Services	Telephone Service	\$ 135.06
46	EGP	Monthly Copier Maintenance Contract	\$ 83.29
47	Electronics & Communications	Knobs for Portable Radios	\$ 26.75
48	Ernie Morris Enterprises Inc	Office Supplies	\$ 70.90
49	George Nahas Chevrolet, Inc.	Sensor	\$ 14.06
50	Law Enforcement Supply	Pants, Coat, Lettering, Hem Chg	\$ 201.15
51	L3 Communications Mobile Vision	Digital Evidence Viewer Appl Software for Windows	\$ 400.00
52	Merritt Department Stores, Inc	Shirts	\$ 289.12
53	MFI Medical Equipment Inc.	Ear Phone Guards	\$ 56.00
54	Office Depot	Office Supplies	\$ 210.08
55	PGIT	Workers Comp Insurance	\$ 2,429.89
56	Progress Energy	Electrical Service	\$ 255.83
57	Super Circuits	Camera	\$ 102.14
58	Tri-Point Products, Inc.	Remarkable Calendars	\$ 124.95
59	Verizon Wireless	Broadband	\$ 200.05
60	Wildwood Ace Hardware	J-Bend, Bulbs	\$ 26.98
61	Wildwood Tire Company	Tires and Repairs	\$ 268.84

**STREET DEPARTMENT**

62	Payroll	November 6, 2011 Pay Period - 10 Employees	\$ 17,252.31
63	Bank of America	American Van, Everglades Farm Equip., Stopzilla	\$ 709.16
64	B & M Equipment	Telescopic Boom Rental	\$ 883.00
65	Bright House	Internet Service	\$ 39.98
66	CarQuest Auto Parts	Fittings, Mirror, Ext Arm, Oil	\$ 107.99
67	Cason & Gaskins TV Inc	Car Charger	\$ 14.99
68	Culligan	Cooler Rental and Bottled Water	\$ 18.37
69	Dept of Management Services	Telephone Service	\$ 1.20
70	Dept of Management Services	Telephone Service	\$ 45.02
71	Ernie Morris Enterprises Inc	Office Supplies	\$ 40.89
72	Mid Florida Tractor	Clutch	\$ 303.89
73	Orlando Freightliner, Inc.	Oil Filter	\$ 47.62
74	PGIT	Workers Comp Insurance	\$ 1,483.60
75	Progress Energy	Electrical Service	\$ 391.75
76	Tri-Point Products, Inc.	Remarkable Calendars	\$ 17.85
77	Unifirst	Uniforms	\$ 332.59
78	Waste Management	20 Yard Rolloff	\$ 384.00
79	Wildwood Ace Hardware	Saw Chain,Faucet, Padlock, Fasteners	\$ 131.78
80	Wildwood Mower & Saw, Inc	Trimmer Head,Drive Shaft, Bearing Asm. Blade, Etc.	\$ 710.62
81	Wildwood Tire Company	Tires and Repairs	\$ 73.00

**FLEET SERVICES**

82	Payroll	November 6, 2011 Pay Period - 2 Employees	\$ 5,642.12
83	Big Truck Parts Inc	Filters	\$ 165.88
84	Bright House	Internet Service	\$ 39.97
85	CarQuest Auto Parts	Standard Capsule, Carb Bits, Terminal Pak,PS Fluid	\$ 56.23
85	Culligan	Cooler Rental and Bottled Water	\$ 18.37
87	Dept of Management Services	Telephone Service	\$ 1.20
88	Dept of Management Services	Telephone Service	\$ 45.02
89	Ernie Morris Enterprises Inc	Office Supplies	\$ 7.78

90	Interstate Battery System of N FL	Batteries	\$	246.85
91	Newsom Oil Company	Kendall Super D XA 15w-40	\$	501.05
92	Office Depot	Office Supplies	\$	44.78
93	PGIT	Workers Comp Insurance	\$	381.87
94	Progress Energy	Electrical Service	\$	28.21
95	Ron Tarbox	Emission Smoke Machine	\$	1,095.00
96	Unifirst	Uniforms	\$	112.42
97	Wildwood Ace Hardware	Fasteners, Glue	\$	10.25

**COMMUNITY RE-DEVELOPMENT**

98	Payroll	November 6, 2011 Pay Period - 1 Employees	\$	2,494.71
99	Bright House	Internet Service	\$	8.23
100	Dept of Management Services	Telephone Service	\$	4.83
101	Dept of Management Services	Telephone Service	\$	61.10
102	EGP	Monthly Copier Maintenance Contract	\$	19.94
103	PGIT	Workers Comp Insurance	\$	16.37

**PARKS AND RECREATION**

104	Payroll	November 6, 2011 Pay Period - 6 Employees	\$	7,656.71
105	Bright House	Internet Service	\$	16.46
106	CarQuest Auto Parts	Valve, Control Arm Bushing, Brake Pad, Ctr Link	\$	267.59
107	Central Pump & Supply, Inc	Hunter Nozzles, PVC Pipe, PVC Cement, Etc.	\$	165.59
108	Century Link	Telephone Service	\$	354.25
109	Culligan	Softener Rental - Lake Deaton - Wigglesworth	\$	32.95
110	Dept of Management Services	Telephone Service	\$	4.83
111	Dept of Management Services	Telephone Service	\$	61.10
112	EGP	Monthly Copier Maintenance Contract	\$	19.94
113	Office Depot	Office Supplies	\$	12.67
114	PGIT	Workers Comp Insurance	\$	305.13
115	Professional Maintenance Prod.,Inc	Wash Wax	\$	185.55
116	Progress Energy	Electrical Service	\$	819.11
117	Salescorp of Florida	Orange Traffic Cones	\$	181.50
118	Sparr Building & Farm Supply	Post, Fence Staples, Metal Painted Post, Etc.	\$	1,293.54
119	T & D Waste Services, Inc.	Port O Let Rental	\$	295.00
120	Triple Crown Trailer	Utility Trailer 6 x 12	\$	1,604.00
121	Unifirst	Uniforms	\$	72.40
122	Wildwood Ace Hardware	Liners, Hornet Spray, Cleaner, Funnel, Padlock,Etc	\$	186.22
123	Wildwood Mower & Saw, Inc	Carburetor,Oil Filter,Trimmer Head,Comm Edger	\$	211.68
124	Wildwood Tire Company	Tires and Repairs	\$	620.44

**COMMUNITY CENTER & OXFORD COMMUNITY CENTER**

125	Bright House	Internet Service	\$	79.95
126	Office Depot	Office Supplies	\$	12.67
127	Unifirst	Rugs	\$	63.38
128	Wildwood Ace Hardware	Electrical Tape, Bowl Cleaner, Bleach, Pliers, Etc.	\$	50.35

**PHYSICAL ENVIRONMENT ADMINISTRATIVE DEPARTMENT**

129	Payroll	November 6, 2011 Pay Period - 3 Employees	\$	5,080.12
130	Bank of America	EIG Start Logic Web Site	\$	179.70
131	Bright House	Internet Service	\$	24.69
132	Business Basic Etc., LLC	Water Bills	\$	1,710.00
133	Century Link	Telephone Service	\$	36.09
134	C.R. 466A Landfill Facility, LLC	Sidewalk Concrete Removal	\$	14.40
135	Dept of Management Services	Telephone Service	\$	4.83

136	Dept of Management Services	Telephone Service	\$	106.12
137	EGP	Monthly Copier Maintenance Contract	\$	33.19
138	Ernie Morris Enterprises Inc	Office Supplies	\$	59.84
139	IMS	Software Maintenance	\$	115.00
140	Oracle Elevator	Quarterly Maintenance Contract	\$	202.08
141	PC Connection	Cust EPS & Control	\$	1,272.00
142	PGIT	Workers Comp Insurance	\$	32.64
143	Progress Energy	Electrical Service	\$	857.48
144	Unifirst	Rugs	\$	23.76
145	Wildwood Ace Hardware	1x6's, Expans Joint, Broom, Cleaner, Etc	\$	33.49
146	Xpress Materials, LLC.	Sidewalk Concrete Pour	\$	82.50

**WATER DEPARTMENT**

147	Payroll	November 6, 2011 Pay Period - 10 Employees	\$	16,066.08
148	Bank of America	Time Recorder,Red Lion Controls,Tractor Supply	\$	272.50
149	Brenntag	Liquid Chlorine	\$	976.06
150	Bright House	Internet Service	\$	84.95
151	Campbell's Gate Service Inc	Service Call and Labor	\$	433.00
152	CarQuest Auto Parts	Radiator Cap, Tie Rod End	\$	53.79
153	Dept of Management Services	Telephone Service	\$	6.16
154	Dept of Management Services	Telephone Service	\$	45.02
155	Discount Janitorial	Cleaning Supplies	\$	264.08
156	Ernie Morris Enterprises Inc	Office Supplies	\$	15.56
157	HD Supply Waterworks	Regular Meter,Pressure Relief Valve	\$	191.42
158	Leesburg Rent All	Riding Roller with Trailer	\$	62.00
159	Office Depot	Office Supplies	\$	150.41
160	Plant Technicians	Environmental Testing	\$	555.00
161	PGIT	Workers Comp Insurance	\$	956.70
162	Progress Energy	Electrical Service	\$	12.56
163	Rainey Asphalt, LLC	Asphalt Pour CR529	\$	175.00
164	Sherwin Williams	Paint	\$	43.19
165	Southern Analytical Laboratories,Inc	Environmental Testing	\$	900.00
166	Sumter Electric	Electrical Service	\$	3,800.63
167	Sunshine State One Call of Florida	Locators for Month of October 2011	\$	279.39
168	Sunstate Meter & Supply, Inc.	Female Adapters	\$	219.67
169	Terminix	Monthly Pest Control Contract	\$	25.00
170	The Dumont Company, Inc	Clear Flow	\$	1,332.50
171	Tri-Point Products, Inc.	Remarkable Calendars	\$	17.85
172	Unifirst	Uniforms	\$	370.92
173	USA BlueBook	Water Valve Decals, Fiber Curve Marking	\$	1,019.95
174	Wildwood Ace Hardware	Plug Cleanout, PVC, Wire Conn, Pressure Gauge	\$	375.71
175	Wildwood Mower & Saw, Inc	Wheel, Comm. Edger, Trimmer Head,Cut Off Saw	\$	902.40
176	Wildwood Tire Company	Tires and Repairs	\$	275.75

**WASTEWATER DEPARTMENT**

177	Payroll	November 6, 2011 Pay Period - 12 Employees	\$	25,810.64
178	Bank of America	Hollaender,CVS, Household Appliance	\$	537.01
179	Besco Electric Supply Company	Dusk to Dawn 100 Watt	\$	190.67
180	CarQuest Auto Parts	Htr Core, Headlight Switch, Oil	\$	476.52
181	Cason & Gaskins TV Inc	Car Charger	\$	14.99
182	C & C Peat Co., Inc.	Sludge Removal	\$	3,320.00
183	Central Pump & Supply Inc	Hunter Station Battery Controller	\$	418.50
184	Century Link	Telephone Service	\$	64.13
185	Cole-Palmer	Tubing, Calculator,	\$	157.94

186	Culligan	Bottled Water	\$ 14.99
187	Conveyor Components Company	Flexible Coupling, Coupling Guard	\$ 84.31
188	Dept of Management Services	Telephone Service	\$ 5.92
189	Dept of Management Services	Telephone Service	\$ 90.04
190	Ernie Morris Enterprises Inc	Office Supplies	\$ 23.16
191	Fort Bend Services, Inc	Polymer	\$ 2,893.64
192	HACH	Chlorine,Alkalinity,Iron Test Strips,BOD STD,Etc.	\$ 328.17
193	Hardy Diagnostics	Petri Dish w/o Pads, Thio-Bag,Filters	\$ 978.90
194	HD Supply WaterWorks	Flo Green Paint, PVC, Valves, Cleanout Adpts,Etc	\$ 639.72
195	ITT Water & Wastewater USA	Replaced Burnt Wiring from Lightning Strike	\$ 960.00
196	ITT Water & Wastewater USA	Connection Disch 4 x 4, Impeller C HT ,Wear Ring	\$ 2,861.00
197	McNichols Co.	Al/Alloy Bse FIng for Pipe	\$ (268.38)
198	MMD Computer Center, Inc.	Panasonic Printer and Installation	\$ 758.00
199	Odyssey Manufacturing Co.	Hypochlorite Solution	\$ 2,631.60
200	Office Depot	Office Supplies	\$ 6.70
201	PGIT	Workers Comp Insurance	\$ 1,057.69
202	Professional Maintenance Prod.,Inc	Citra Solv Lift Station Degreaser	\$ 1,495.00
203	Progress Energy	Electrical Service	\$ 18,544.79
204	Sunshine State One Call of Florida	Locators for Month of October 2011	\$ 279.39
205	Test America	Environmental Testing	\$ 5,462.10
206	Tri-Point Products, Inc.	Remarkable Calendars	\$ 17.80
207	Unifirst	Uniforms	\$ 967.90
208	Villages Technology Solutions Grp	Troubleshoot network, Replaced Bad Switch, Softwr	\$ 180.00
209	VWR International	PH Meter, PH Probe, Acid,Iodine Reagent, Etc.	\$ 1,852.05
210	Wildwood Ace Hardware	PVC Pipe,Cover, Caulk, Pipe Wrench, Drill Bits,Etc	\$ 646.09
211	Wildwood Mower & Saw, Inc	Carb Kit, Wheel, Comm. Edger, Trimmer Head,Etc.	\$ 98.08
212	Wildwood Tire Company	Tire Repairs	\$ 20.94

**GREENWOOD CEMETERY**

**ATTORNEYS/CONSULTANTS/SURVEYORS**

213	Andy Easton & Associates	CDBG Neighborhood Revitalization Grant	\$ 2,000.00
214	Jerri A Blair	Attorney	\$ 10,000.00
215	Kimley-Horn & Associates	Engineers	\$ 10,951.61
216	Potter Clement Lowry	Special Magistrate	\$ 472.50

**FUEL INVENTORY**

217	Lynch Oil Company, Inc	Unleaded Gasoline & Diesel	\$ 19,580.81
218	Stone Petroleum Products, Inc.	Ultra Low Sulfur Diesel	\$ 2,651.14

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**TOTAL** \$ 297,234.02

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CITY COMMISSION  
CITY OF WILDWOOD, FLORIDA

S E A L

ATTEST: \_\_\_\_\_  
Joseph Jacobs, City Clerk

\_\_\_\_\_  
Ed Wolf, Mayor

**CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

3. NEW BUSINESS--ACTION REQUIRED f. (2)  
Discussion/Approval for purchase of Flygt Pump in the amount of \$24,412 to replace non-operational pump at the CR 468/Fla. Turnpike Pump Station, from ITT Water & Wastewater Florida, LLC, sole source provider of Flygt Pumps

**SUBJECT:** Sole Source Purchase from ITT Water & Wastewater Florida LLC

**REQUESTED ACTION:** Staff recommends approval

- Work Session (Report Only)  
 Regular Meeting

**DATE OF MEETING:** 11/14/11  
 Special Meeting

**CONTRACT:**  N/A

Effective Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

Vendor/Entity: \_\_\_\_\_

Termination Date: \_\_\_\_\_

Utility Department (Wastewater Division)

**BUDGET IMPACT:** \$24,412

- Annual  
 Capital  
 N/A

**FUNDING SOURCE:**  
**EXPENDITURE ACCOUNT:**

Utility Department (Wastewater Division)  
Repair & Maintenance

**HISTORY/FACTS/ISSUES:**

The CR 468/Florida Turnpike pump station provides service for the Florida Turnpike's Okahumpka Plaza.

The station has been operating for some time in a simplex mode with only one pump operational. Operating this station in a simplex manner for an extended period of time is not in conformance with the FDEP permit. Therefore the need to replace the non-operational pump and bring the station into compliance operating as a duplex station.

Approximately 12 years ago the City established Flygt as its pump manufacturer and therefore the need for the sole source purchase and on October 24, 2011 the City Commission passed Resolution NO. 2011-26 establishing ITT as the sole source provider of Flygt pumps in Florida east of the Apalachicola River.



3. NEW BUSINESS-ACTION REQUIRED f. (2)  
Discussion/Approval for purchase of Flygt Pump in the amount of \$24,412 to replace non-operational pump at the City of Wildwood Pump Station from ITT Water & Wastewater Florida, LLC. Sole source provider of Flygt Pumps

To: City of Wildwood  
Attention: Pete Bennett

Date: October 24, 2011

Subject: Wildwood 468 PS

We are pleased to offer the following equipment:

- (1) 6" Flygt CP3201/452 submersible wastewater pump, 47hp, 3/460v, with 50' of motor cable. Discharge flange will be drilled to accept ABS slide bracket provided by the City of Wildwood.

Price: \$24,412.00 each, plus taxes, freight included, F.O.B. Factory.

THIS PROPOSAL WILL EXPIRE IN NINETY (90) DAYS UNLESS EXTENDED IN WRITING BY ITT FLYGT

**NOTE:** WE DO NOT SUPPLY, PIPING, VALVES, GUIDE BARS, PRESSURE GAUGES, DISCONNECTS, JUNCTION BOXES, KELLUMS GRIPS, SURGE PROTECTION EQUIPMENT, SPARE PARTS, LABOR OR ANY OTHER ITEM NOT SPECIFICALLY LISTED ABOVE.

**TERMS:** Subject to credit approval net 30 days after date of invoice or 100% payable before start-up of equipment (whichever comes first). A service charge of 1.5% per month will be added to all balances unpaid 30 days after invoice date. Failure to pay in accordance with these terms will void all warranties. A cancellation charge of 20% of the value of the order will be assessed for special orders or control panels cancelled after production is completed.

- CONDITIONS:**
1. Price is firm based on our receiving complete approval and release for production four (4) weeks after drawings have been submitted by ITT Flygt.
  2. PARTIAL BILLING WILL BE MADE ON ANY PARTIAL SHIPMENT.

We thank you for your interest in our equipment and look forward to being of service to you in the near future. A SIGNED FACSIMILE COPY OF THIS PROPOSAL IS ACCEPTABLE AS A BINDING CONTRACT.

ITT Water & Wastewater, Florida LLC

Company Name: \_\_\_\_\_

Accepted By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Date: \_\_\_\_\_

*Dale M. Jahn*  
  
 Dale M. Jahn



*Bruce*

**CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

3. NEW BUSINESS – ACTION REQUIRED – f.  
FINANCIAL (3) Discussion/Approval requested to purchase of 75 hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightening strike on Aug. 19, 2011

**SUBJECT:** 75 HP Reuse Pump VFD  
**REQUESTED ACTION:** Staff recommends approval

Work Session (Report Only)      **DATE OF MEETING:** Nov. 14, 2011  
 Regular Meeting                       Special Meeting

**CONTRACT:**     N/A                                      Vendor/Entity: Luzadder, Inc.  
Effective Date: \_\_\_\_\_ Termination Date: \_\_\_\_\_  
Managing Division / Dept: Utility Department/Wastewater Division

**BUDGET IMPACT:** \$5,325.00

Annual                      **FUNDING SOURCE:** Utility Department/Wastewater Division  
 Capital                      **EXPENDITURE ACCOUNT:** Repair & Maintenance  
 N/A

**HISTORY/FACTS/ISSUES:**

On August 19, 2011 a lightning strike (event #EV2011205898) damaged the VFD on the 75 HP reuse pump at the wastewater treatment plant site. The damage to the VFD was not found until Sept. 22, 2011. An insurance claim (claim #212654) has been filed. The City's deductible is \$5,000.

The VFD regulates the rate at which the pump operates, thus regulating the amount of water pumped and is an integral part of the City's reuse system.

Three quotes have been obtained for the VFD replacement:

Luzadder, Inc.	\$5,325.00
Rocha Controls	\$5,343.00
ZCONTROLS	\$7,500.00

Staff recommends award of the bid to Luzadder, Inc. in the amount of \$5,325.00.

# CITY OF WILDWOOD WASTE WATER LIGHTNING STRIKE DAMAGE REPORT

NEW BUSINESS - ACTION REQUIRED - f. FINANCIAL (3) Discussion/Approval requested to purchase of 5 hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightening strike on Aug. 19, 2011

REPORTING DATE: 9-29-11

DAMAGE DATE: 8/19/11 TIME: 2025

CITY PROPERTY AREA: LIFT STATION \_\_\_ PLANT X RIBS \_\_\_ GC \_\_\_ OTHER \_\_\_

INS. CLAIM# 212654 EVENT # EY2011205898

LOCATION or SITE DESCRIPTION: REUSE PUMP STATION

DAMAGE TO EQUIPMENT: RPS # 2 Pump Motor.

ALSO FOUND ON 9-22-11 DAMAGE TO THE VFD

TRADES INVOLVED IN REPAIR or REPLACEMENT:

	ITEM	SSI	\$ REPAIR	\$ REPLACEMENT
ELECTRICAL _____	_____	_____	_____	_____
PUMPS _____	_____	_____	_____	_____
MOTORS <u>TAIN</u>	<u>75HP</u>	_____	<u>2851.<sup>14</sup></u>	<u>9-22-11 INSTALLED</u>
PLC's _____	_____	_____	_____	_____
DRIVES & VFDs <u>SQUARED</u>	<u>DRNE</u>	<u>X</u>	_____	<u>5325<sup>00</sup></u>
PROGRAMMERS <u>WARK L</u>	_____	_____	_____	_____
INTEGRATION <u>WARK L</u>	<u>VFD TROUBLE</u>	_____	<u>10/4 260<sup>00</sup></u>	_____
COMPUTERS _____	_____	_____	_____	_____
SCADA CARDS _____	_____	_____	_____	_____
RADIO _____	_____	_____	_____	_____
OTHER _____	_____	_____	_____	_____

COMPLETION DATE: \_\_\_\_\_

USE TRADE INVOICE or QUOTE FOR ITEMIZED LIST OF REPAIRS or REPLACEMENT

3. NEW BUSINESS – ACTION REQUIRED – f.  
FINANCIAL (3) Discussion/Approval requested to  
purchase of 75 hp Reuse Pump VFD in the amount of  
\$5,325 to replace the one damaged at the WWTP by a  
lightening strike on Aug. 19, 2011

November 3, 2011

To: Bruce Phillips, Utilities Director

From: Bobby Valentich: Wastewater Coordinator *BV*  
Dave Bridges, Lead Wastewater Operator *DB*

Re: Quotes for 75 HP Square D VFD replacement.

Bruce:

The following are the quotes we have received from three companies we have used in the past to repair and program parts of our electrical systems within the Wastewater Treatment Plant.

1. Luzadder, Inc.	\$5,325.00
2. Rocha Controls	\$5,343.00
3. ZCONTROLS	\$7,500.00

As you can see, Luzadder, Inc. has given us the lowest quote of \$5,325.00 and is therefore recommended to be awarded the 75 HP VFD replacement project. Mark Luzadder has performed many repairs within the treatment plant and is a reliable Contractor for this project.

Luzadder, Inc.  
 125 Glen Ridge Ave.  
 Temple Terrace, FL 33617  
 Phone: (813) 245-0252

# LUZADDER, INC.

**SERVICE REPORT**  
 3. NEW BUSINESS - ACTION REQUIRED w/ FINANCIAL (3) Discussion/Approval requested to purchase of 75 hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightning strike on Aug. 19, 2011

Customer: City of Wildwood		Location: Wastewater Treatment Plant	
100 N. Main Street Wildwood, Florida 34785		1290 Industrial Drive Wildwood, FL 34785	
Contact: Dave Bridges	Title: Chief Operator	Customer P.O. #:	Luzadder, Inc. Customer #:
Phone: 352-330-1349		Fax: 352-330-1350	
Customer Reason for Call: RPS Pump #2 Not Working			
Work Performed:			
<p>Trouble Shoot VFD with Technical Support from Schneider Sq.D.          Contact: Randy          Case # 1366832</p> <p>It was determined that the VFD has Unbalance Output Phasing.          The VFD was possibly damaged when the Pump took a lighting strike earlier.</p> <p>Quote to Repair:          Insurance Claim No. 212654          Event No. EV2011205898          Cost to Repair: \$5325.00</p>			

Customer Representative: \_\_\_\_\_

Luzadder, Inc. Representative: \_\_\_\_\_



Rocha Controls - Municipal and Industrial Control Systems  
5025 Rio Vista Ave  
Tampa, FL 33634  
813-628-5584 ph 813-664-6713 fax  
www.rochacontrols.com

3. NEW BUSINESS - ACTION REQUIRED - f.  
FINANCIAL (3) Discussion/Approval requested to purchase of 75hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightening strike on Aug. 19, 2011

October 30, 2011

Dave Bridges, Lead Operator  
City of Wildwood, Wastewater Department  
1290 Industrial Blvd  
Wildwood, Florida 34785

Re: Wildwood WWTP Altivar VFD Repair/Replacement

Dave:

Per your request we offer the following:

Provide, install and configure one (1) new SQD ATV61HD45N4 SPEED DRIVE 60HP 460V ATV61 in place of existing failed device. Enclosure to be left in place and new open chassis to be retrofitted in same location if possible. No new functionality will be provided. Turn over existing VFD to owner

Total Cost will be \$5,343.

**Terms**

This quotation is valid for ninety (90) days from date listed.

If you have any questions on the details of this quotation please call me on my cell phone at 813-267-3235 or fax to # 813-664-6713 or email rocha@rochacontrols.com

Sincerely,

President

# ZCONTROLS

2044 Palm Vista Drive  
Apopka, FL 32712

3. NEW BUSINESS – ACTION REQUIRED – f. FINANCIAL (3) Discussion/Approval requested to purchase of 75 hp Reuse Pump VFD in the amount of \$5,325 to replace the one damaged at the WWTP by a lightning strike on Aug. 19, 2011

**Quote**

Date	Estimate #
10/27/2011	17

Name / Address
100 N. Main Street Wildwood, FL 34785

Project

Description	Qty	Cost	Total
Install, program and test new Muxar 63, 75 HP VFD		5,325.00	5,325.00
		<b>Total</b>	5,325.00

**CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

3. NEW BUSINESS - ACTION REQUIRED f. (4) Discussion/Approval  
Requested for Kimley-Horn to proceed with Individual Project Order  
Number 12 in the amount of \$6,250 to provide an estimated cost  
to Refurbish Pump Station No. 2 at 3-Flags Resort on SR 44 or  
abandon the station and remove it from service

**SUBJECT:** Wastewater Pump Station No. 2 (3-Flags)

**REQUESTED ACTION:** Staff recommends approval

- Work Session (Report Only)  
 Regular Meeting

**DATE OF MEETING:** Nov. 14, 2011  
 Special Meeting

**CONTRACT:**  N/A

**Vendor/Entity:** Kimley Horn & Assoc.,  
Inc

**Effective Date:** January 7, 2009 **Termination Date:** January 7, 2012

**Managing Division / Dept:** Utility Department, Wastewater Division

**BUDGET IMPACT:** \$6,250.00

- Annual  
 Capital  
 N/A

**FUNDING SOURCE:**

Wastewater Department

**EXPENDITURE ACCOUNT:**

Professional Services

**HISTORY/FACTS/ISSUES:**

Wastewater Pump Station No. 2 is designed and permitted as a duplex pump station; it has been operating for quite some time with only one pump. In mid September the station experienced a fire in the control panel completely disabling the station, fortunately there was a means to by-pass the station and pump directly from Pump Station No. 14 (SR 44 & CR 229) directly to Pump Station No. 27 (SR 44 & CR 219).

An inspection of the station revealed severe degradation and loss of concrete in the wet well structure as well as severe deterioration of the metal components in the station due to hydrogen sulfide gases. The loss of concrete has exposed the reinforcing steel in the structure thus compromising the structural integrity of the station.

Staff met on sight with representatives of Kimley Horn and Assoc. (KHA) to review the situation and requested KHA to provide the attached scope of services to provide the City with an estimated cost to:

1. Refurbish the station with a new wet well, pumps, controls, upgraded scada system, etc.
2. Abandon the station, removing it from service.

Staff recommends approval of KHA's Individual Project Order Number 12, dated Nov. 7, 2011 in the amount of \$6,250.00.

Bruce Phillips, PE, PLS  
Utilities Director

**INDIVIDUAL PROJECT ORDER NUMBER 12**  
**November 07, 2011**

Describing a specific agreement between Kimley-Horn and Associates, Inc. (the Consultant or KHA), and The City of Wildwood (the Client or the City) in accordance with the terms of the Master Agreement for Continuing Professional Services dated January 7, 2009, which is incorporated herein by reference.

***Identification of Project:***

Project: 3 Flags Sewer System Planning

Client: City of Wildwood

***General Category of Services:***

The City of Wildwood's 3 Flags lift station is currently in disrepair and is in need of refurbishment. The wet well has experienced significant hydrogen sulfide attack and has lost most of the concrete cover over the rebar. Likewise, the valve vault components are significantly corroded and need to be replaced.

Under this IPO, the Consultant will prepare an analysis of alternatives that include refurbishment of the 3 Flags lift station and removing the lift station from service (using the CR 219 lift station instead). The scope of services described below is to model the City's pressurized wastewater collection system from the CR 219 lift station to the I-75 interchange and conduct an alternatives analysis for potential replacement of the 3 Flags lift station. The alternatives analysis will be limited to up to three alternatives. An opinion of probable construction cost for each alternative will be provided.

***Specific Scope of Basic Services:***

**Task 1 – Data Gathering**

- A. KHA will utilize existing sanitary sewer utility mapping previously prepared for the City to create a detailed map of the Project area.
- B. KHA will assemble topographic information obtained from Geographic Information System (GIS) data bases.
- C. KHA will assemble parcel boundary and land use information from the Sumter County GIS databases.
- D. KHA will assemble lift station information provided by the City for the key lift stations in the Project area. Such information required includes wet well diameters, wet well operating depth, and pump operating data (eg. Flow rates, pump operating curves, pump motor make and model). If the City does not have the required information available, KHA will contact the pump manufacturers to attempt to get the operating data. Should the data still be unattainable and necessary, KHA will assist the City in obtaining the necessary information using other means (drawdown testing and/or visual pump inspections) on an hourly plus expenses basis.
- E. KHA will present the City with the information gathered in Task I to verify its accuracy. The City will review the existing infrastructure information to verify the line sizes and locations are accurate.



Hourly services under this IPO will be provided in accordance with the approved rate schedule (Exhibit "A" of the Master Agreement). Payment of each invoice shall be due within 45 days of receipt. If the Client objects to an invoice, it must advise the Consultant in writing giving its reasons within 30 days of receipt of the invoice or the Client's objections will be waived, and the invoice shall conclusively be deemed due and owing. The Client agrees that the payment to the Consultant is not subject to any contingency or condition.

ACCEPTED:

THE CITY OF WILDWOOD, FLORIDA

KIMLEY-HORN AND ASSOCIATES, INC.

BY: \_\_\_\_\_

BY:  \_\_\_\_\_  
Richard V. Busche, PE

TITLE: \_\_\_\_\_

TITLE: Vice President

DATE: \_\_\_\_\_

DATE: November 7, 2011

3. NEW BUSINESS - ACTION REQUIRED f. (4) Discussion/Approval requested for Kimley-Horn to proceed with Individual Project Order (IPO) Number 12 in the amount of \$6,250 to provide an estimated cost to Refurbish Pump Station No. 2 at 3-Flags Resort on SR 44 or abandon the station and remove it from service

**Task 2 – Data Analysis**

- A. KHA will utilize the GIS land use information to prepare a limited estimate the wastewater generation potential for individual parcels within the planning area. This estimate will be limited to existing flows and additional development that is expected to occur within the next five years. The additional anticipated development will be provided by the City.
- B. KHA will prepare a sewer system model of the Project area using SewerCAD software. KHA will calibrate the model using existing information provided by the City.
- C. KHA will prepare an analysis and cost opinions for up to three alternatives. The alternatives will consist of rehabilitation of the existing 3 Flags lift station, eliminating the 3 Flags lift station (using the 219 lift station instead), and one additional alternative to be determined.
- D. KHA will present the route alternatives along with the anticipated system modifications required for each. The presentation is intended to solicit the City's comments for possible alterations to the proposed alternatives.
- E. After the City has been provided the opportunity to comment on the proposed routes, KHA will prepare an opinion of probable construction cost for each route alternative.

**Task 3 – Technical Memorandum**

- A. KHA will prepare a technical memorandum detailing the analysis, cost estimates and provide a recommended alternative. The technical memorandum will include conceptual maps of detailing the proposed routes and system modifications required to accommodate each route.
- B. KHA will present the technical memorandum to the City Staff for discussion and comment.

***Additional Services if required:***

Additional services not listed above will be performed on an hourly labor fee plus expense basis in accordance with the approved rate schedule.

- The scope of services does not include engineering design or permitting services. These services can be performed as an additional service if requested by the City.
- The scope of services does not include subsurface utility locations.
- The scope of services does not include public presentations, legal services or expert testimony.

***Schedule:***

KHA will begin services upon receipt of an executed IPO.

***Method of compensation:***

The Consultant will perform the services described the Scope of Services for the lump sum fee of \$6,250 inclusive of expenses. All permitting, application, and similar project fees will be paid directly by the CITY.

3. NEW BUSINESS - ACTION REQUIRED - f. FINANCIAL (5) Discussion/Approval to select the lowest quote from Mike's Painting and Pressure Cleaning, Inc. to repaint the Millennium Park Horizontal Water Tank

## CITY COMMISSION OF THE CITY OF WILDWOOD

### EXECUTIVE SUMMARY

**SUBJECT:** Millennium Park Water Tank

**REQUESTED ACTION:** Commission Approval

Work Session (Report Only)

Regular Meeting

**DATE OF MEETING:** 11/14/11

Special Meeting

**CONTRACT:**  N/A

Effective Date: \_\_\_\_\_

Managing Division / Dept: \_\_\_\_\_

Vendor/Entity: \_\_\_\_\_

Termination Date: \_\_\_\_\_

**BUDGET IMPACT:** N/A

Annual

Capital

N/A

**FUNDING SOURCE:** \_\_\_\_\_

**EXPENDITURE ACCOUNT:** \_\_\_\_\_

---

### HISTORY/FACTS/ISSUES:

Mayor and Commission,

Attached are the quotes I received from two (2) companies after contacting the companies with the specific specs for the painting of the Millennium Park Water Tank.

One company that originally quoted the job has removed its estimate, as that company does not have the equipment to complete the Water Tank job.

I have met with Dave Grimm and went over all estimates to make sure what the companies are offering match what specs that are required by the City.

It is staff recommendation to move forward with Mike's Painting and Pressure Cleaning, INC.

Jason Hargrove  
Parks & Recreation Coordinator





**Mike's Painting & Pressure Cleaning, Inc.**

13750 SW 61st Place Road  
 Ocala, FL 34481  
 www.ocalapaint.com

Phone # (352)489-2253 mikespaint@att.net  
 Fax # (352)489-2253

3. NEW BUSINESS -- ACTION REQUIRED -- f. FINANCIAL (5) Discussion/Approval to select the lowest quote from Mike's Painting and Pressure Cleaning, Inc. to repaint the Millennium Park Horizontal Water Tank

Date	Estimate #
6/30/2011	118

Project
City of Wildwood

Name / Address
City of Wildwood

Item	Description	Total
033	<p>Exterior painting: All described is for water tank.            Chemical wash to remove all mold and mildew. Pressure clean to remove all loose and or flaking paint. Scrape any additional loose or flaking paint. Remove lettering from tank. Sand areas on tank including lettering edges to get a smooth surface. Paint one coat using ICI Devoe Inorganic Zinc 304V (Two-part epoxy solvent based). Paint two or three coats using ICI Devoe Devflex 659 (One part epoxy water-based).</p> <p>Payment forms accepted are: Visa, Master Card, Discover, Check or Debit.</p>	5,350.00

No deposit needed.	<b>Total</b> \$5,350.00
--------------------	-------------------------

Signature \_\_\_\_\_

Terms	upon completion of service
-------	----------------------------

TO: 13523301338 P. 2/2  
3. NEW BUSINESS - ACTION REQUIRED - f.  
FINANCIAL (5) Discussion/Approval to select  
the lowest quote from Mike's Painting and  
Pressure Cleaning, Inc. to repaint the  
Millennium Park Horizontal Water Tank



P.O. Box 2398, Belleview, FL 34421 (352) 347-8165

**Proposal**

**DATE:** July 11, 2011

**TO:** City of Wildwood  
Millennium Park  
Wildwood, FL

**ATTN:** Jason Hargrove

**Description of Services to be completed:**

- Sandblasting horizontal water tank to bare metal.
- Application of Primer Sherwin Williams Zinc Clad 11 Plus Primer or equal.
- Application of two or more coats of Sherwin Williams Sher-Cryl B66-300, or ICI Devco Devflex 659, or Carboline 3359DTM, or Tnemec Series 28 or 29, or equal.
- Cleanup of all debris

**NOTE: Apply sufficient coats to provide a total minimum dry-film thickness of 8 mils. Thickness of any individual coat shall not exceed 4 mils.**

**Total: Seven Thousand Five Hundred Dollars and 00/00 \$7,500.00**

\_\_\_\_\_  
Authorizing Signature

\_\_\_\_\_  
Date

# City of Wildwood, Florida

100 N. Main Street  
Wildwood, Florida 34785

TO: Mayor/Commissioners

FROM: David Grimm, City Projects Planner/Coordinator

RE: City Hall Column Repairs and Painting

DATE: November 14, 2011

At the direction of the Commission I contacted numerous trades to establish a budget for the repair of the forty-eight (48) columns and for the cleaning caulking and repainting of the columns and stucco. The total cost of the project as approved by the Commission is \$45,086.00.

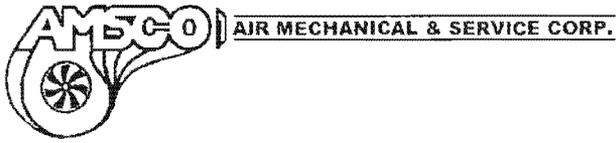
Air Mechanical & Service Corp. was awarded the contract to repair the building envelope and replace/upgrade the majority of the HVAC system. The project is currently under construction and I am very satisfied with the progress and quality of the work. Because of this, I asked Air Mechanical to provide a quote for the column repairs and the cleaning, caulking and painting of the columns and stucco. The total quote from Air Mechanical for this work is \$41,750.00 which is \$3,336.00 under the original budget.

I would request that the Commission accept this quote and that it be added to the Air Mechanical & Service Corp. HVAC contract as Change Order #1.

The primary reasons to include this in the HVAC contract are:

1. The City would be protected under the Payment and Performance bond and the insurance included in the HVAC contract.
2. The nature of the work is the same; City Hall repairs and maintenance.
3. Air Mechanical is already on-site and would not require additional mobilization, storage or parking.
4. I am very pleased with the work Air Mechanical is doing for the City.

The quotes from Air Mechanical & Service Corp. are attached for your review.



3. NEW BUSINESS – ACTION REQUIRED f. (6)  
Discussion/Approval to accept only the quotes  
from Air Mechanical & Service Corp. totaling  
\$41,750 to repair and paint the City Hall Columns  
& stucco

4311 W. Ida St. Tampa, Fla. 33614  
Ph: 813-875-0782 Fax: 813-873-2275  
Cell: 813-363-2330  
E-mail: gus@amsco-ac.com

## PROPOSAL

November 2, 2011

City of Wildwood  
100 N. Main Street  
Wildwood, FL 34785

Attn: Dave Grimm,  
Project Planner

Dear Mr. Grimm

Air Mechanical & Service Corporation is pleased to provide pricing for the pressure cleaning and painting of the below listed sections of The City of Wildwood City Hall building. Our proposal includes all labor and Materials to complete this project.

### Scope of Work:

- Protect Owner sidewalks and shrubs from damage.
- Pressure clean stucco band around 1<sup>st</sup> floor portion of the building and east and west arches.
- Provide scissor lift and ladders as needed to complete project.
- Paint 2 coats of Behr paint (color by Owner) on band and arches.
- Clean up area upon completion.

**Total cost for above work is \$26,000.00**

Dave, we appreciate the opportunity to serve you and your staff! If we can be of further assistance on this or any other projects you might have please contact me.

Respectfully Submitted,

Gus Garza  
Area Manager  
Air Mechanical & Service Corporation



3. NEW BUSINESS – ACTION REQUIRED f. (6)  
Discussion/Approval to accept only the quotes  
from Air Mechanical & Service Corp. totaling  
\$41,750 to repair and paint the City Hall Columns  
& stucco

4311 W. Ida St. Tampa, Fla. 33614  
Ph: 813-875-0782 Fax: 813-873-2275  
Cell: 813-363-2330  
E-mail: gus@amsco-ac.com

## PROPOSAL

October 26, 2011

City of Wildwood  
100 N. Main Street  
Wildwood, FL 34785

Attn: Dave Grimm,  
Project Planner

Dear Mr. Grimm

Air Mechanical & Service Corporation is pleased to provide pricing for the repair, cleaning and painting of the columns on The City of Wildwood, City Hall building. Our proposal includes all labor and Materials to complete this project.

### Scope of Work:

- Protect Owner sidewalks and shrubs from damage.
- Price is inclusive of 4 30' tall columns & 44 regular columns.
- Provide scissor lift for 30' tall columns.
- Clean column crowns of old caulking.
- Reposition and mechanically fasten crowns with corrosion resistant screws.
- Clean all columns with TSP and plastic bristle brushes (hand clean and prep).
  1. Pressure washer will not be used due to public access.
- All columns to be finished with 2 coats (sheen to be decided by City of Wildwood).
- Wood Bases will be re-primed and 2 coats of paint applied.
- Clean up area upon completion.

Note: we estimate 6 hours per column for the regular and 10 hours per column for the 30' tall columns.

**Total cost for above work is \$15,500.00**

Dave, we appreciate the opportunity to serve you and your staff! If we can be of further assistance on this or any other projects you might have please contact me.

Respectfully Submitted,

Gus Garza  
Area Manager  
Air Mechanical & Service Corporation



3. NEW BUSINESS – ACTION REQUIRED f. (6)  
Discussion/Approval to accept only the quotes  
from Air Mechanical & Service Corp. totaling  
\$41,750 to repair and paint the City Hall Columns  
& stucco

4311 W. Ida St. Tampa, Fla. 33614  
Ph: 813-875-0782 Fax: 813-873-2275  
Cell: 813-363-2330  
E-mail: gus@amsco-ac.com

## PROPOSAL

October 26, 2011

City of Wildwood  
100 N. Main Street  
Wildwood, FL 34785

Attn: Dave Grimm,  
Project Planner

Dear Mr. Grimm

Air Mechanical & Service Corporation is pleased to provide pricing for the repair of the water damaged soffit at The City of Wildwood, City Hall building. Our proposal includes all labor and Materials to complete this project.

### Scope of Work:

- Protect Owner sidewalks and shrubs from damage.
- Cut out wet damaged drywall in soffit.
- Install new patch and finish.
- Prime and paint to match existing.
- Clean up area upon completion.

**Total cost for above work is \$250.00**

Dave, we appreciate the opportunity to serve you and your staff! If we can be of further assistance on this or any other projects you might have please contact me.

Respectfully Submitted,

Gus Garza  
Area Manager  
Air Mechanical & Service Corporation

**CITY OF WILDWOOD  
EXECUTIVE SUMMARY**

3. NEW BUSINESS – ACTION REQUIRED f. (7)  
Discussion/Approval to purchase 14' x 30'  
portable storage shed for placement at WWTP  
from Superior Sheds in the amount of \$6,000,  
lowest cost per sq. ft. (\$14.29/sf) for storage of  
water department materials presently stored in  
buildings on Wilson St. and Masters Ave. which  
are in need of major repairs

**SUBJECT:** Water Department Material Storage

**REQUESTED ACTION:** Staff recommends approval

- Work Session (Report Only)  
 Regular Meeting

**DATE OF MEETING:** Nov. 14, 2011  
 Special Meeting

**CONTRACT:**  N/A

Effective Date: \_\_\_\_\_

Managing Division / Dept: \_\_\_\_\_

Vendor/Entity: \_\_\_\_\_

Termination Date: \_\_\_\_\_

Utility Department/Water Division

**BUDGET IMPACT:** \$6,000.00

- Annual  
 Capital  
 N/A

**FUNDING SOURCE:**

**EXPENDITURE ACCOUNT:**

Water Department  
Facility Upgrades

**HISTORY/FACTS/ISSUES:**

The Water Department presently utilizes two buildings for storage of materials.

Building #1 is located adjacent to Clark Park on Wilson Street and is in need of major repairs, see attached photos.

Building #2 is located at 808 Masters Avenue and is also in need of major repairs, see attached photos.

The recommendation is to purchase a portable storage building and place it at the WWTP site for storage of the Water Department's materials.

Superior Sheds (Fruitland Park) (14'x30')	\$6,000.00 (\$14.29/sf)
Lark Sheds (Leesburg) (12'x30')	\$5,800.00 (\$16.11/sf)
Jack's Shacks (Bellevue) (12'x30')	\$5,600.00 (\$15.56/sf)

Staff recommends purchasing the 14'x30' building from Superior Sheds.

The Water Department's backhoes are presently stored out in the weather, these would also be stored at the WWTP site in one of two vacant "carport" type structures.

This would be the first step to consolidate the Water & Wastewater Departments into a Utility Department with a Water Division and a Wastewater Division. The second step is to house the employees in the same location at the WWTP site.

ATT: Bruce Phillips

Discussion/Approval to purchase 14' x 30' portable storage shed for placement at WWTP from Superior Sheds in the amount of \$6,000, lowest cost per sq. ft. (\$14.29/sf) for storage of water department materials presently stored in buildings on Wilson St. and Masters Ave. which are in need of major repairs.

Serial Number: Quote

**JACK'S SHACKS, INC.**  
P. O. BOX 684  
BELLEVIEW, FLORIDA 34421  
352-245-6995

Delivery Date: -----

**INVOICE**

Customer

Name City of Wildwood  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ ZIP \_\_\_\_\_  
Phone \_\_\_\_\_

Date 11-8-11  
Accepting delivery: \_\_\_\_\_  
Signature: \_\_\_\_\_

	Options	TOTAL
Size	<u>12x30</u>	<u>7,515.00</u>
Style	<u>Lapsider</u>	
doors	<u>46" x 9x7 Rollup door</u>	<u>7450.00</u>
windows	<u>4 22x36</u>	
other	<u>3 lights, 2 Recept, SWITCH</u>	
Color	base: _____ trim: _____ roof: _____	
Property Diagram		SubTotal <u>5,600</u>
		Delivery _____
		Sales tax _____
		Misc _____
		<b>TOTAL</b> <u>5,600</u>

**Payment Details**

Cash  
 Check  
 Credit Card

Building diagram

Installation includes normal truck and trailer placement. Crew is not responsible for relocation of any personal property (fences, swingsets, tree limbs, etc.). There will be a minimum charge of \$75.00 if the site has not been prepared for delivery. If delivery is inhibited, there will be a \$75.00 fee to bring the building back to the site once it has been prepared. Jack's Shacks is not responsible for permitting.

WE APPRECIATE YOUR BUSINESS!

Steel Buildings • Carports  
Portable Buildings • Storage Sheds  
We buy used buildings.

**Superior Buildings of Lake Co.**  
*"The name speaks for itself"*

Tom Johnston  
(352) 217-2175

2520 Hwy 441/27 Suite 2  
Fruitland Park, FL 34731

3. NEW BUSINESS - ACTION REQUIRED f. (7)  
PAGE: 17  
Discussion/Approval to purchase 14' x 30'  
portable storage shed for placement at WWTP  
from Superior Sheds in the amount of \$6,000,  
lowest cost per sq. ft. (\$14.29/sf) for storage of  
water department materials presently stored in  
buildings on Wilson St. and Masters Ave. which  
are in need of major repairs

14 X 30  
9' Rollup  
Side door  
2 Lg. Windows  
RIDGEVENT  
ELEC.

\$ 6000.00

THANKS

*Tom Johnston*

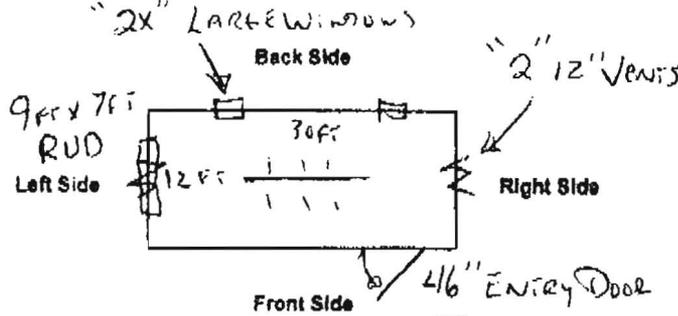
3. NEW BUSINESS - ACTION REQUIRED <sup>P. 11 (7)</sup>  
 Discussion/Approval to purchase 14' x 30' portable storage shed for placement at WWTP from Superior Sheds in the amount of \$6,000, lowest bid of sq. ft. (\$14.29/sf) for storage of water department materials presently stored in buildings on Wilson St. and Masters Ave. which are in need of major repairs

# Lark Sheds of Leesburg, Inc.

Customer name Bruce Phillips Date Nov/11 Permit \_\_\_\_\_

Delivery address \_\_\_\_\_ Serial # \_\_\_\_\_

City Wildwood FL Zip \_\_\_\_\_ Phone 330-1346 Fax 330-1347  
 Work \_\_\_\_\_



Model Name: <u>Lap Entrance</u>	Standard: <input checked="" type="checkbox"/>
Size: <u>12ft x 30ft</u>	Windows # <u>2 &amp; 2 vents</u>
Door: Side <input checked="" type="checkbox"/> 1/6" End <input type="checkbox"/> Offset <input type="checkbox"/>	
Double End <input type="checkbox"/> Double Side <input type="checkbox"/> X's <input type="checkbox"/>	
Color: _____ Trim: _____	
Window Trim: _____	
Electric: Standard <input checked="" type="checkbox"/> Outlets # <u>2</u> Lights # <u>2</u>	

Delivery Directions ENTRY DOOR CAN BE PLACED AS DESIRED / WINDOWS CAN BE PLACED AS DESIRED / CHOOSE OF COLORS WITHIN OUR RANGE / MULTIPLE ROOF COLORS AVAIL.

DELIVERY NO MORE THAN 2 WEEK FROM RECEIPT OF ORDER.

Loading Instructions \_\_\_\_\_

All for the sum of..... 5800.00

Sales Tax..... 406.00 IF EXEMPT WILL NEED A COPY OF CERT

Total contract amount..... 6206.00

Deposit at time of ordering..... Check # \_\_\_\_\_

Balance due on delivery to site..... Check # \_\_\_\_\_

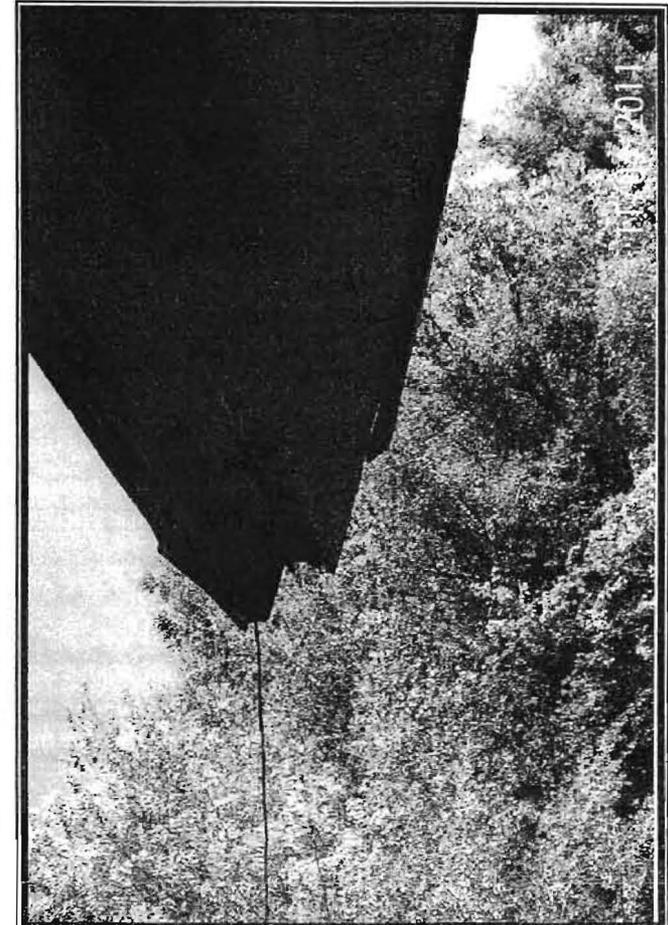
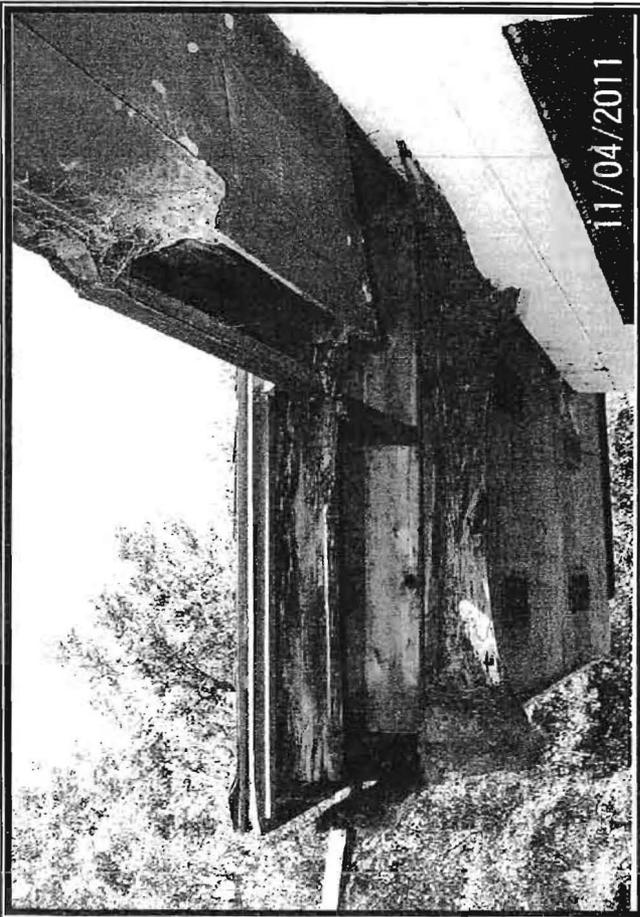
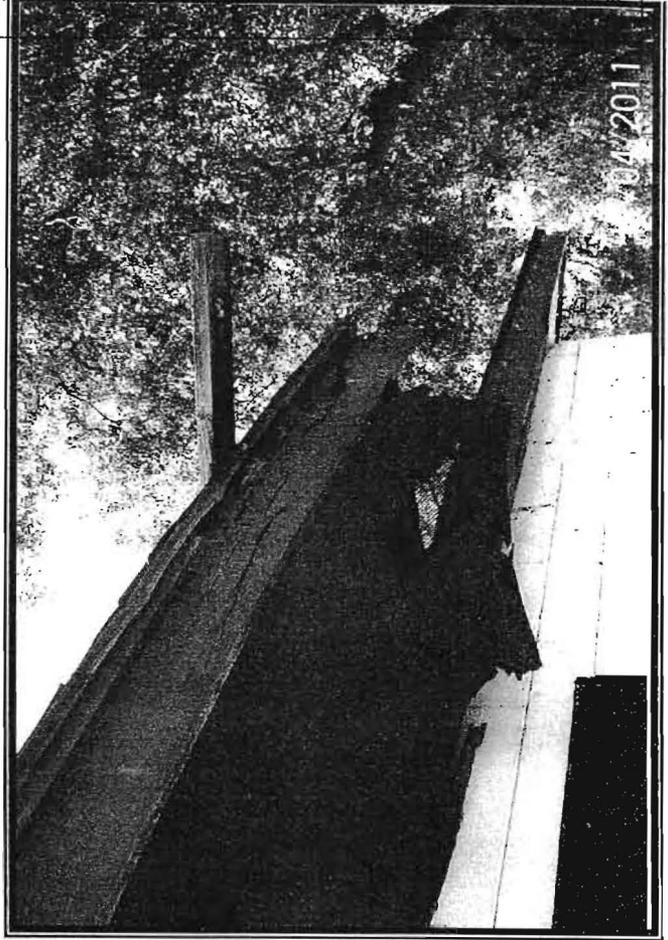
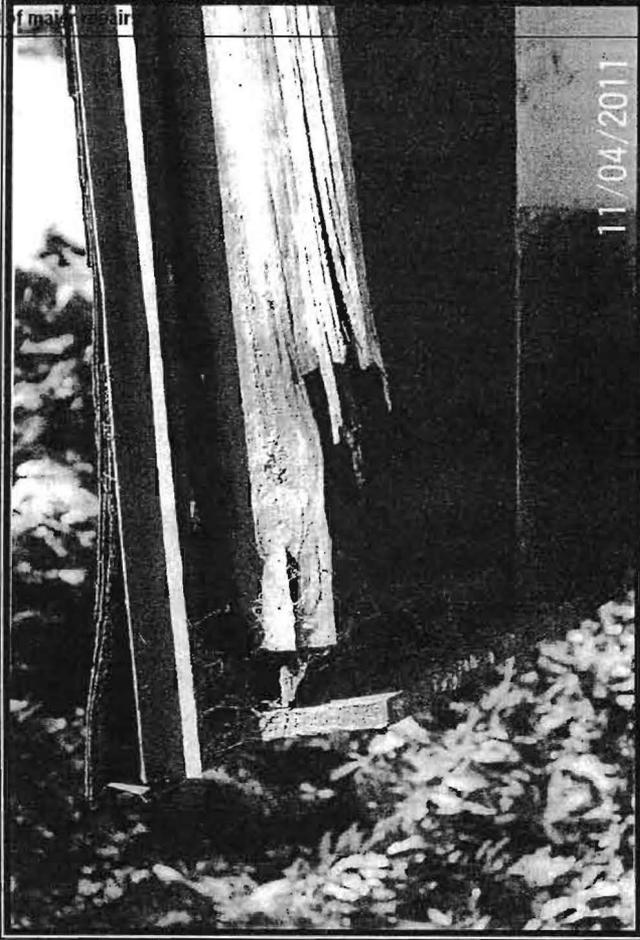
Customer is responsible for obtaining all permits. The undersigned is responsible for clearing and providing level ground, removal of fences, shrubs, tree roots, etc., and clear path to site, and hereby releases Lark Sheds of Leesburg, Inc., and its employees from any and all claims of damages to shrubbery, trees, lawn, septic tank, overhead and underground utilities and / or other personal property associated with installing a portable storage building on the undersigned's premises and agrees to hold Lark Sheds of Leesburg, Inc. harmless for any claims of damages by reason of such installation. Lark Sheds of Leesburg, Inc. will furnish 4" x 8" x 16" solid block and 30" eye bolt anchors. All buildings remain the property of Lark Shed of Leesburg, Inc. until paid in full. It is up to the customer to let us know at the time of ordering whether they want the Building set up Permit Ready. Lark Shed of Leesburg, Inc. will not be responsible for later costs. Buyer has read all terms and conditions of this agreement.

WE NOW USE 40 INCH EYE BOLT ANCHORS. 10 ON THIS SIZE BLDG  
STEVE DUOSWORTH

Acceptance to Order.

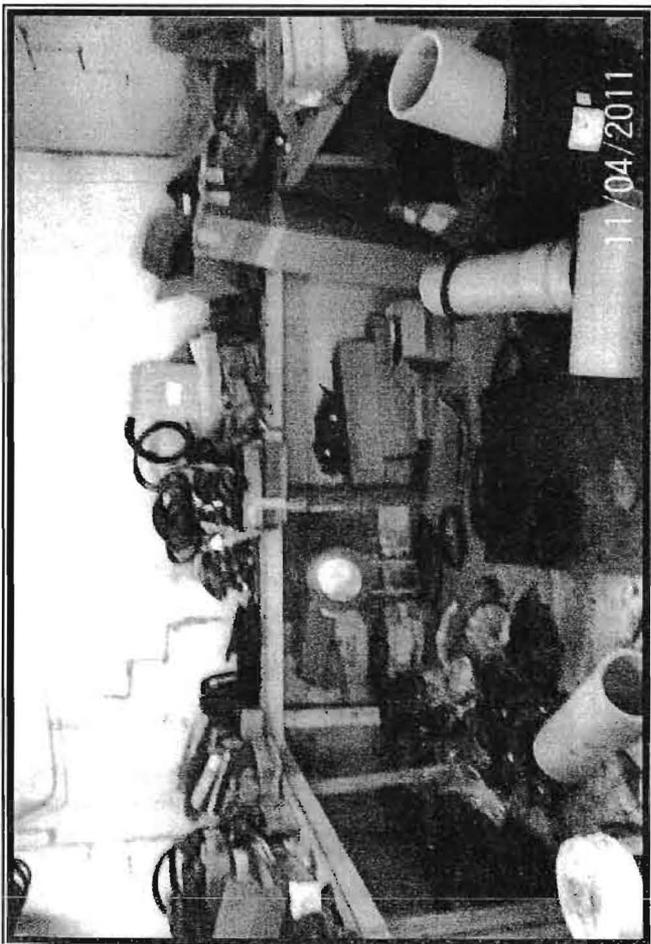
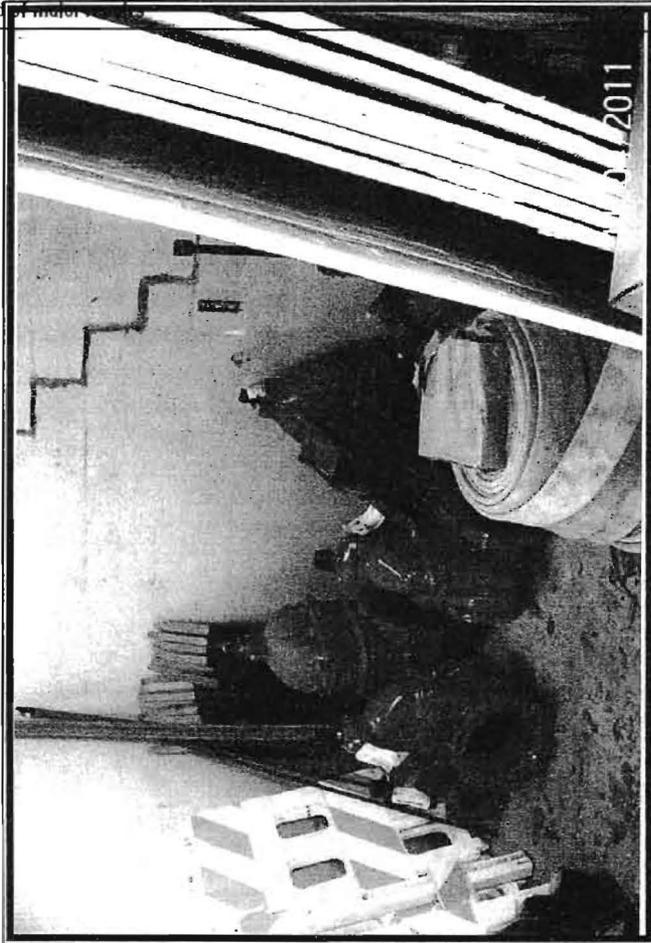
Date

3. NEW BUSINESS - ACTION REQUIRED f. (7) Discussion/Approval to purchase 14' x 30' portable storage shed for placement at WWTP from Superior Sheds in the amount of \$6,000 - lowest cost per sq. ft. (\$14.29/sq ft) for storage of water department materials presently stored in buildings on Wilson St. and Masters Ave. which are in need of major repair.

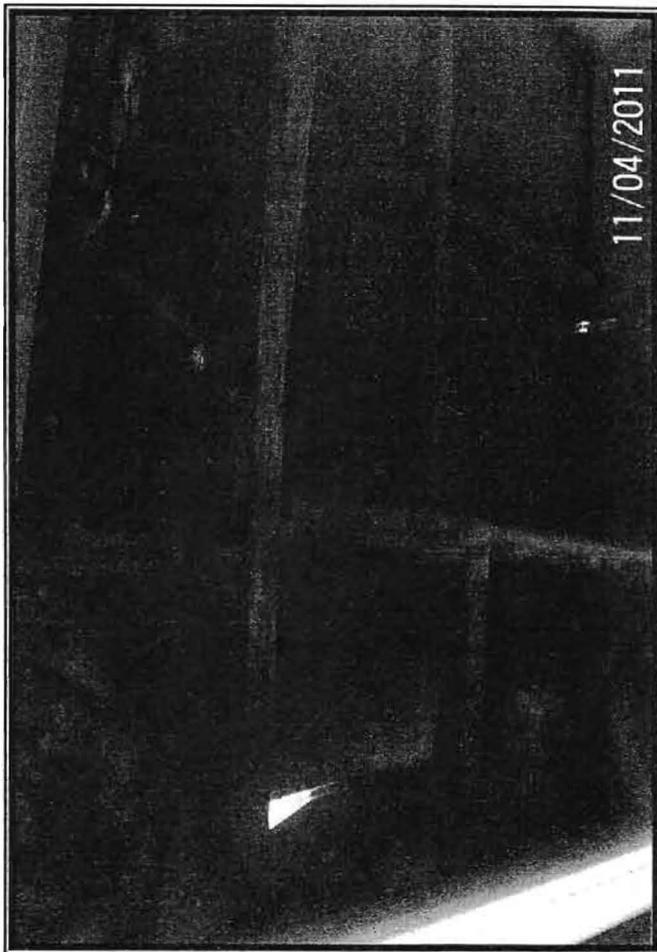


**WATER DEPARTMENT STORAGE FACILITY AT CLARK PARK**

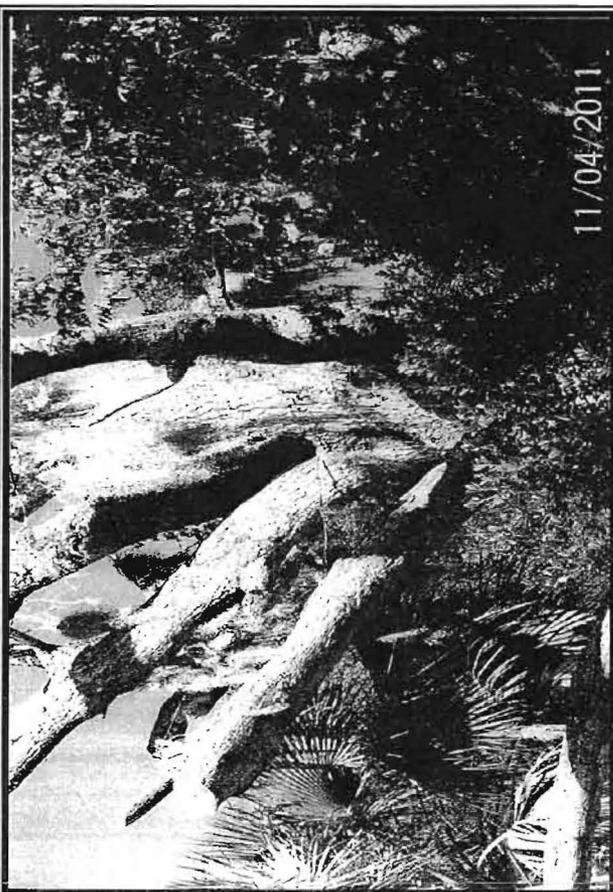
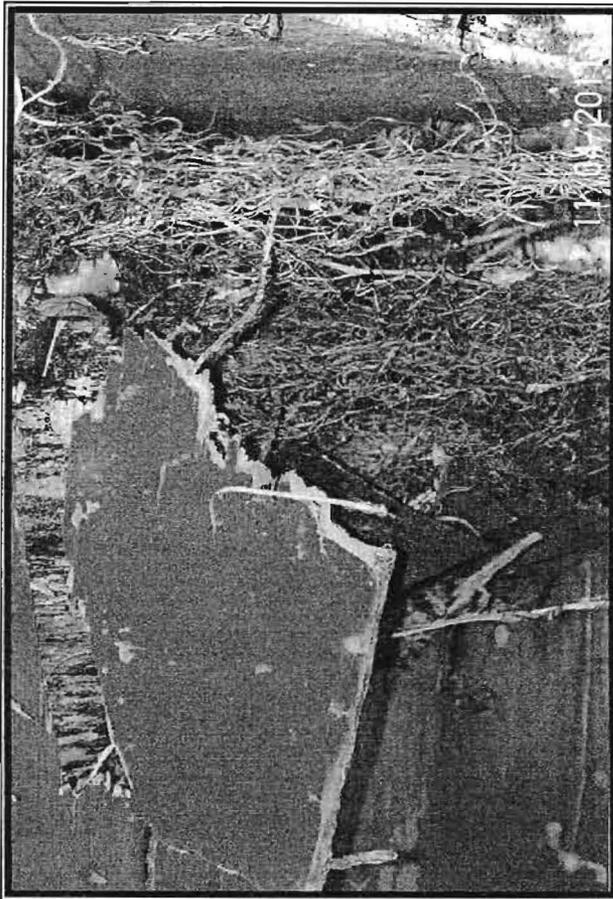
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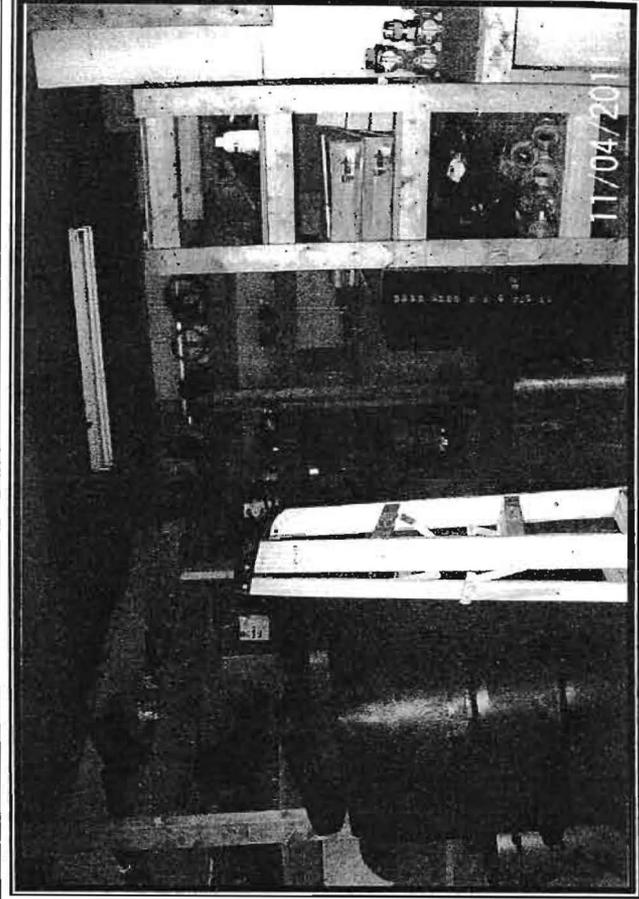
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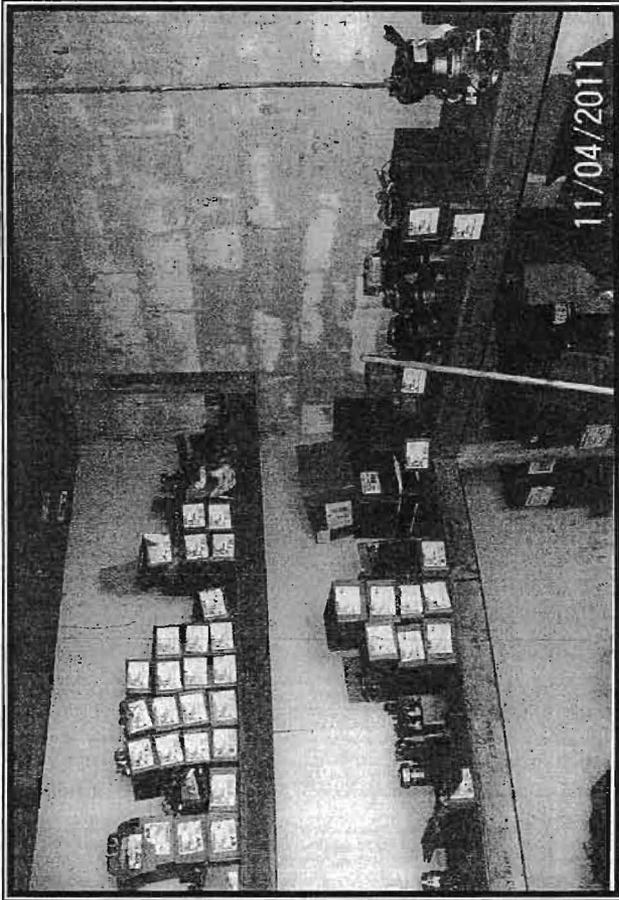


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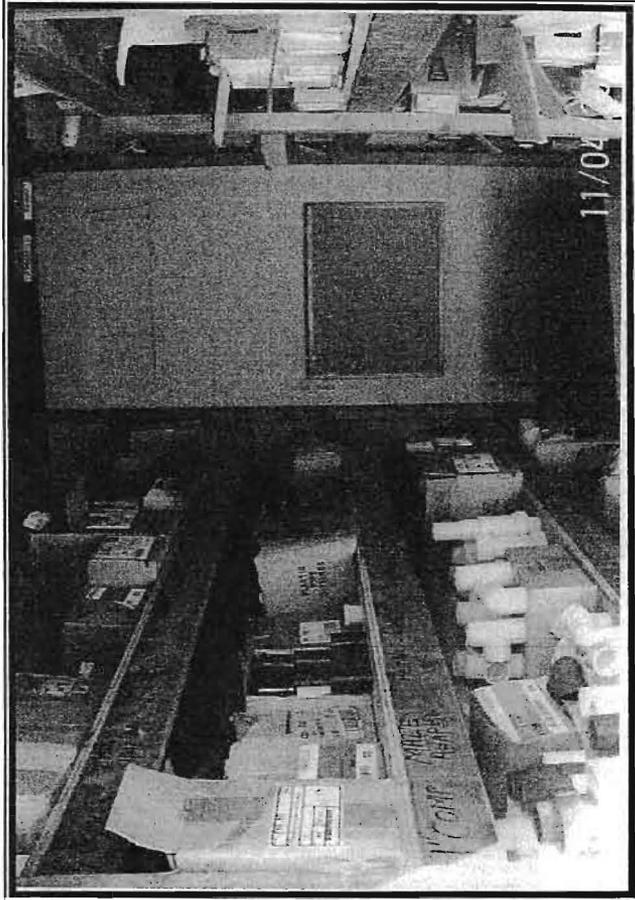


**WATER DEPARTMENT STORAGE FACILITY AT 808 MASTERS AVENUE**





**WATER DEPARTMENT STORAGE FACILITY AT 808 MASTERS AVENUE**



3. NEW BUSINESS – ACTION REQUIRED f. (7) Discussion/Approval to purchase 14' x 30' portable storage shed for placement at WWTP from Superior Sheds in the amount of \$6,000, lowest cost per sq. ft. (\$14.29/sf) for storage of water department materials presently stored in buildings on Wilson St. and Masters Ave. which are in need of major repairs

**CITY COMMISSION OF THE CITY OF WILDWOOD**

**EXECUTIVE SUMMARY**

**SUBJECT:** Christmas Parade

**REQUESTED ACTION:** Commission Approval

Work Session (Report Only)

Regular Meeting

**DATE OF MEETING:**

11/14/11

Special Meeting

**CONTRACT:**  N/A

Effective Date: \_\_\_\_\_

Managing Division / Dept: \_\_\_\_\_

Vendor/Entity: \_\_\_\_\_

Termination Date: \_\_\_\_\_

**BUDGET IMPACT:** N/A

Annual

Capital

N/A

**FUNDING SOURCE:**

**EXPENDITURE ACCOUNT:**

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**HISTORY/FACTS/ISSUES:**

Mayor and Commission,

Attached is the Christmas Parade Application and Parade Route. I have discussed the parade route with the Police Department and Public Works and have their approval. Staff recommends approval for this parade route.

Jason Hargrove

Parks and Recreation Coordinator



3. NEW BUSINESS-ACTION REQUIRED g. (1) General Items for Discussion/Approval Discussion/Approval of Christmas Parade & route proposed for the Parade

# City of Wildwood, Florida

100 N. Main Street  
Wildwood, Florida 34785

Phone: (352) 330-1330  
Fax: (352) 330-1338

## PARADE APPLICATION FORM

Name of Organization: Wildwood Historical Society Leader of Organization: Bidget Gibson  
 Address: \_\_\_\_\_ Address: 4985 CR 116  
Wildwood Fl 34785  
 Telephone: \_\_\_\_\_ Telephone: (352) 461-1140  
 Type of Parade: Christmas Parade Date of Parade: 12/13/2011  
 Object of Parade: "Celebrating a Hometown Christmas"

Number of Entries: TBA Time Lineup Begins: 2:00pm Time Parade Begins: 3:00pm  
 Approximate Length of Parade (i.e. Minutes/Hours): Depends on # of entries  
 DO YOU HAVE YOUR OWN BARRICADES AND/OR YELLOW/ORANGE FLORESCENT RIBBON? YES \_\_\_\_\_ NO X  
 IF NO, ARE YOU REQUESTING ASSISTANCE WITH BARRICADES? YES

WILL YOUR ORGANIZATION BE RESPONSIBLE FOR THE COST INVOLVED IN THE PARADE?  
 (i.e. Police Officers and Public Works employees, etc.)(Manpower) YES \_\_\_\_\_ NO X  
 ARE YOU REQUESTING THE CITY OF WILDWOOD BEAR THE EXPENSE OF THIS PARADE? YES X NO \_\_\_\_\_

DO YOU HAVE ADULT VOLUNTEERS TO ASSIST IN TRAFFIC CONTROL? YES \_\_\_\_\_ NO X  
 IF YES, PLEASE LIST THEIR NAME AND TELEPHONE NUMBER WHERE THEY MAY BE CONTACTED BELOW:

NAME	PHONE	NAME	PHONE
1.	( )	5.	( )
2.	( )	6.	( )
3.	( )	7.	( )
4.	( )	8.	( )

**NAME, ADDRESS, & PHONE NUMBER OF YOUR INSURANCE CARRIER:**  
 NAME: \_\_\_\_\_ PHONE: ( ) \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ POLICY NUMBER: \_\_\_\_\_

**PLEASE ATTACH A SKETCH OF THE PROPOSED PARADE ROUTE WHICH SHOWS STREETS, INCLUDING THE LINEUP AREA, FOR APPROVAL**

- YOU ARE ADVISED THAT **EACH** ENTRY / UNIT IN THE PARADE MUST COMPLETE A RELEASE OF LIABILITY AND HOLD HARMLESS AGREEMENT FOR PARTICIPATION IN A CITY OF WILDWOOD PARADE.
- ALL RELEASES **MUST BE RETURNED TO THE CITY OF WILDWOOD** NO LATER THAN <sup>Nov.</sup> 18<sup>th</sup> DAYS PRIOR TO THE DATE OF THE PARADE.
- A COPY OF THE RELEASE IS AVAILABLE FOR EACH PARADE ORGANIZER.
- YOU ARE AUTHORIZED TO MAKE AS MANY COPIES OF THE RELEASE AS ARE NEEDED FOR THE PARADE PARTICIPANTS.

City Manager: 330-1330 x109/110 Public Works: 330-1343 Police Department: 330-1355 City Clerk: 330-1330 x100



**Sumter County BOCC - GIS**  
 BOCC - Bushnell, FL 33513 | 352-793-0200

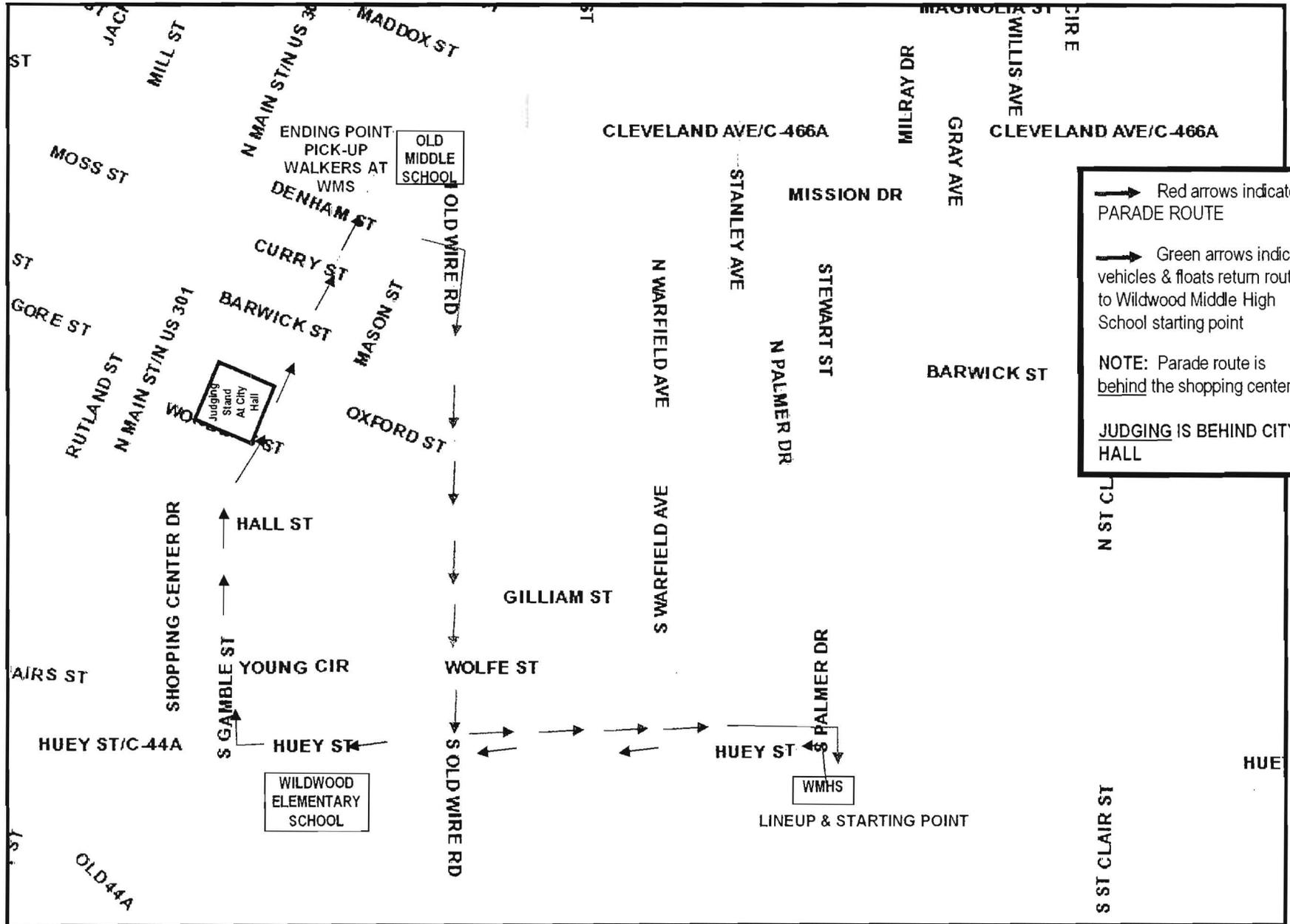


No Parcel Selected

NOTES:

This information was derived from data which was compiled by the Sumter County BOCC - GIS. This information should not be relied upon by anyone as a determination of the ownership of property, legal boundary representation, or market value. The map image is not a survey and shall not be used in any Title Search or any official capacity. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. This information was last updated: 10/19/2011 and may not reflect the data currently on file at our office. powered by: GrizzlyLogic.com

# 2011 WILDWOOD CHRISTMAS PARADE ROUTE



 Red arrows indicate PARADE ROUTE  
 Green arrows indicate vehicles & floats return route to Wildwood Middle High School starting point  
 NOTE: Parade route is behind the shopping center  
 JUDGING IS BEHIND CITY HALL

3. NEW BUSINESS-ACTION REQUIRED 9. (1) General Items for Discussion/Approval Discussion/Approval of Christmas Parade & route proposed for the Parade

3. NEW BUSINESS-ACTION REQUIRED g. (2) General Items for Discussion/Approval Discussion/Approval of request from San Pedro Maldonado Mission for the closure of Wonders Street between the City Hall Annex and Gamble Street and use of City barricades on Sunday, December 11<sup>th</sup>, 2011, from 8:00 AM – 6:00 PM for their 4<sup>th</sup> Annual Our Lady of Guadalupe Celebration



## San Pedro Maldonado Mission

210 Wonders St., Wildwood, FL 34785

(352) 787-9208

November 7, 2011 <sup>PAC</sup>

Mr. Robert Smith  
City Manager  
City Hall 100 N Main Street  
Wildwood, FL 34785

Dear Mr. Smith:

The congregation of San Pedro Maldonado is currently planning for the annual Our Lady of Guadalupe Celebration to be held Sunday, December 11, 2011 from 8:00am to 6:00pm.

During the service, in a reenactment of Mary's apparitions to St. Juan Diego, the congregation gathers outside the church and process around the church grounds and into the sanctuary. After the Holy Mass the congregation will gather outside the church for traditional and folkloric activities.

Because many families with small children participate, we respectfully request the temporary closure of Wonders Street between U.S. Highway 301 and Gamble Street from 8:00am to 6:00pm on December 11th.

I have asked Mr. Paul Kalv to coordinate the necessary permissions and ensure the compliance with any prerequisites and stipulations the City may require in order to favorably consider this request. You and your staff may contact Paul at (352) 516-2052.

Sincerely,

Rev. Gianni Agostinelli, Pastor

# CITY COMMISSION OF THE CITY OF WILDWOOD

3. NEW BUSINESS ACTION REQUIRED g. 3 General Items for Consideration Discussion of possibility of increasing the Minimums on the Salary Schedule to reflect the 3% COLA that went into effect Oct. 1, 2011 or just assess all salaries, evaluating and rectifying current compression issues and present to Commission upon completion

## EXECUTIVE SUMMARY

**SUBJECT:** Increase MINs on the Salary Schedule

**REQUESTED ACTION:**

Work Session (Report Only)      **DATE OF MEETING:** 11/14/11  
 Regular Meeting                       Special Meeting

**CONTRACT:**     N/A                                      Vendor/Entity: \_\_\_\_\_  
Effective Date: \_\_\_\_\_                      Termination Date: \_\_\_\_\_  
Managing Division / Dept: \_\_\_\_\_

**BUDGET IMPACT:**

Annual                      **FUNDING SOURCE:** \_\_\_\_\_  
 Capital                      **EXPENDITURE ACCOUNT:** \_\_\_\_\_  
 N/A

## HISTORY/FACTS/ISSUES:

Currently the City utilizes the Classification Pay Plan and Salary Schedule that was provided by Cody & Associates, Inc. When this Salary Study was performed, it was determined that the City was in the lower to middle salary range of the market at which time some departments and individual employees were adjusted to bring them more in-line with surrounding Cities with the same or similar positions. This Study was an overall management system that would require continuous work and polishing once implemented. However, the City has not adjusted the MIN, MID, or MAX since the Salary Schedule was originally approved by Commission in 2006-2007. Therefore, this has created some compression issues that the former City Manager was aware of and had HR working on prior to his departure. Many other Cities have provided their Pay Structures, (MIN/MAX) to HR and throughout the review of this information, it has been established that most Cities increase their MAX every year according to CPI/COLA and increase their MINs every other year or every two years dependent on other Cities and the market when advertising new positions. Example: If Wildwood has an opening for Communications Officer and the MIN for that position is currently at the 2006-2007 rate of \$12.01/hr and two other Cities have the same positions offering a rate of \$14.00/hr., it would be in the best interest for Wildwood to adjust the MIN at that point. But, if the MIN is in-line with surrounding areas, then no increase to the MIN would be necessary. The City should always want to be competitive when marketing new hires and retaining them.

One of the task that was given to HR prior to the departure of the former City Manager was to increase the MIN by the 3% approved COLA that went into effect 10/01/11. According to the minutes from the July 7, 2008 Budget Meeting, any changes to the Cody Study would be decided by the elected officials (Commission). Therefore, the MIN, which is part of the Cody Study, has not been increased by HR to date, with the exception of a Police Officer that was hired at the 3% increased rate. By increasing the MIN 3%, the MID and MAX would also need to be adjusted to keep accuracy throughout the scale. Also, should the MIN be increased 3%, this would cause more of a compression issue then we currently have right now.

Although, the 2006-2007 Salary Schedule should be reviewed and revised, it is the recommendation of HR not to increase the MIN at this time, but accurately assess the salaries of all employees in the City along with evaluating and rectifying the current compression issues and present to Commission when completed.

SALARY SCHEDULE				
As Approved by Commission 2006-2007				
Plus Approved Position Ranges after 2007				
CITY OF WILDWOOD, FLORIDA				
RANGE	HRS BASE	MINIMUM	MIDPOINT	MAXIMUM
100	2080	\$ 6.9863	\$ 8.9075	\$ 10.8287
		\$ 14,539.2000	\$ 18,531.4350	\$ 22,523.6700
101	2080	\$ 7.4727	\$ 9.5277	\$ 11.5827
		\$ 15,543.2160	\$ 19,817.6004	\$ 24,091.9848
102	2080	\$ 8.0006	\$ 10.2007	\$ 12.4009
		\$ 16,641.1440	\$ 21,217.4586	\$ 25,793.7732
103	2080	\$ 8.5595	\$ 10.9133	\$ 13.2671
		\$ 17,803.6560	\$ 22,699.6614	\$ 27,595.6668
104	2080	\$ 9.1598	\$ 11.6787	\$ 14.1976
		\$ 19,052.2800	\$ 24,291.6570	\$ 29,531.0340
105	2080	\$ 9.8015	\$ 12.4968	\$ 15.1922
		\$ 20,387.0160	\$ 25,993.4454	\$ 31,599.8748
106	2080	\$ 10.4846	\$ 13.3678	\$ 16.2511
		\$ 21,807.8640	\$ 27,805.0266	\$ 33,802.1892
107	2080	\$ 11.2194	\$ 14.3047	\$ 17.3901
		\$ 23,336.3520	\$ 29,753.8488	\$ 36,171.3456
107a	2080	\$ 11.5300	\$ 14.7008	\$ 17.8715
		\$ 23,982.4000	\$ 30,577.5600	\$ 37,172.7200
108	2080	\$ 12.0060	\$ 15.3077	\$ 18.6093
		\$ 24,972.4800	\$ 31,839.9120	\$ 38,707.3440
108a	2080	\$ 13.2066	\$ 16.8384	\$ 20.4702
		\$ 27,469.7280	\$ 35,023.9032	\$ 42,578.0784
109	2080	\$ 12.8444	\$ 16.3765	\$ 19.9087
		\$ 26,716.2480	\$ 34,063.2162	\$ 41,410.1844
109a	2080	\$ 13.4800	\$ 17.1870	\$ 20.8940
		\$ 28,038.4000	\$ 35,748.9600	\$ 43,459.5200
110	2080	\$ 13.7448	\$ 17.5246	\$ 21.3044
		\$ 28,589.1840	\$ 36,451.2096	\$ 44,313.2352
111	2080	\$ 14.7074	\$ 18.7519	\$ 22.7964
		\$ 30,591.2880	\$ 39,003.8922	\$ 47,416.4964
111a	2080	\$ 15.1200	\$ 19.2780	\$ 23.4360
		\$ 31,449.6000	\$ 40,098.2400	\$ 48,746.8800
111b	2080	\$ 16.1700	\$ 20.6168	\$ 25.0635
		\$ 33,633.6000	\$ 42,882.8400	\$ 52,132.0800
111c	2080	\$ 16.4800	\$ 21.0120	\$ 25.5440
		\$ 34,278.4000	\$ 43,704.9600	\$ 53,131.5200
111d	2080	\$ 18.4800	\$ 23.5620	\$ 28.6440
		\$ 38,438.4000	\$ 49,008.9600	\$ 59,579.5200

3. NEW BUSINESS-ACTION REQUIRED g. 3 General Items for Consideration: Discussion on possibility of increasing the Minimums on the Salary Schedule to reflect the 3% COLA that went into effect Oct. 1, 2011 or just assess all salaries; evaluating and rectifying current compression issues and present to Commission upon completion

111e	2080	\$ 18.5100	\$ 23.6003	\$ 28.6905
		\$ 38,500.8000	\$ 49,088.5200	\$ 59,676.2400
111f	2080	\$ 20.4800	\$ 26.1120	\$ 31.7440
		\$ 42,598.4000	\$ 54,312.9600	\$ 66,027.5200
112	2080	\$ 15.7320	\$ 20.0583	\$ 24.3846
		\$ 32,722.5600	\$ 41,721.2640	\$ 50,719.9680
112a	2184	\$ 15.7300	\$ 20.0600	\$ 24.3815
		\$ 34,354.3200	\$ 43,811.0400	\$ 53,249.1960
113	2080	\$ 16.8291	\$ 21.4571	\$ 26.0851
		\$ 35,004.5280	\$ 44,630.7732	\$ 54,257.0184
113a	2184	\$ 16.8300	\$ 21.4600	\$ 26.0865
		\$ 36,756.7200	\$ 46,868.6400	\$ 56,972.9160
114	2080	\$ 18.0090	\$ 22.9615	\$ 27.9140
		\$ 37,458.7200	\$ 47,759.8680	\$ 58,061.0160
114a	2184	\$ 18.0100	\$ 22.9600	\$ 27.9155
		\$ 39,333.8400	\$ 50,144.6400	\$ 60,967.4520
115	2080	\$ 19.2717	\$ 24.5714	\$ 29.8711
		\$ 40,085.1360	\$ 51,108.5484	\$ 62,131.9608
115a	2184	\$ 19.2700	\$ 24.5700	\$ 29.8685
		\$ 42,085.6800	\$ 53,660.8800	\$ 65,232.8040
116	2080	\$ 20.6172	\$ 26.2869	\$ 31.9567
		\$ 42,883.7760	\$ 54,676.8144	\$ 66,469.8528
116a	2184	\$ 20.6200	\$ 26.2900	\$ 31.9610
		\$ 45,034.0800	\$ 57,417.3600	\$ 69,802.8240
117	2080	\$ 22.0559	\$ 28.1212	\$ 34.1866
		\$ 45,876.1680	\$ 58,492.1142	\$ 71,108.0604
117a	2184	\$ 22.0600	\$ 28.1200	\$ 34.1930
		\$ 48,179.0400	\$ 61,414.0800	\$ 74,677.5120
118	2080	\$ 23.5980	\$ 30.0875	\$ 36.5769
		\$ 49,083.8400	\$ 62,581.8960	\$ 76,079.9520
118a	2184	\$ 23.6000	\$ 30.0900	\$ 36.5800
		\$ 51,542.4000	\$ 65,716.5600	\$ 79,890.7200
119	2080	\$ 25.2540	\$ 32.1989	\$ 39.1437
		\$ 52,528.3200	\$ 66,973.6080	\$ 81,418.8960
120	2080	\$ 27.0239	\$ 34.4554	\$ 41.8870
		\$ 56,209.6080	\$ 71,667.2502	\$ 87,124.8924
121	2080	\$ 28.9179	\$ 36.8703	\$ 44.8227
		\$ 60,149.2320	\$ 76,690.2708	\$ 93,231.3096
122	2080	\$ 30.9465	\$ 39.4568	\$ 47.9671
		\$ 64,368.7200	\$ 82,070.1180	\$ 99,771.5160
123	2080	\$ 33.1097	\$ 42.2148	\$ 51.3200
		\$ 68,868.0720	\$ 87,806.7918	\$ 106,745.5116
124	2080	\$ 35.4281	\$ 45.1708	\$ 54.9135
		\$ 73,690.3440	\$ 93,955.1886	\$ 114,220.0332
125	2080	\$ 37.9121	\$ 48.3379	\$ 58.7637
		\$ 78,857.0640	\$ 100,542.7566	\$ 122,228.4492

3. NEW BUSINESS-ACTION REQUIRED. a. 3 General Items for Consideration: Discussion on possibility of increasing the Minimums on the Salary Schedule to reflect the 3% COLA that went into effect Oct. 1, 2011 or Just assess all salaries, evaluating and rectifying current compression issues and present to Commission upon completion

City Manager and City Clerk explained the options for adopting the millage.

City Manager noted that the rollback rate is actually higher than last year. City Clerk noted that the decision has to be made early in the process. He noted that the numbers given out for this meeting is draft preliminary information and the actual numbers have not been provided by the County yet. FY 07-08 is 3.910.

Motion by Commissioner Allen, second by Commissioner Bivins to tentatively adopt 3.926 or actual rollback rate once calculated, which will not be a tax increase. Motion carried. All voting yea.

Personnel –

CM Stevens – noted addendum regarding Robert Smith.

Mayor Wolf – questioned if special increases were given to any employees this year. Noted that he did not know that could be done and the Commission may want to review the policy before a new City Manager comes on

CM Stevens – maybe three were done.

Commissioner Allen – if the Commission sets a budget based on the amount of money available, what does the special increases do to the budget. CM Stevens – maybe the Commission should do as other cities and give the City Manager 10-15% to apply to personnel who are exceptional. Noted that you never reach the full budget because all positions are not filled all the time. Mayor Wolf – expressed concern that when the word gets out that some received a special raise it opens many problems with the other 100+ employees. Who received the special raises. CM Stevens – Pam Law, Pete Bennett, and Robert Smith. Mayor Wolf – what criteria was used and what was the percentage of increase. CM Stevens – 5%. Exceptional performance and the level they are currently being paid at.

Commissioner Bivins – so at budget session comes whenever they get the next raise, nothing is considered as far as performance. Since being on the Commission performance based pay was discussed. Even though the study was done and the employees were brought up to what was comparable to everywhere else, only three people warranted the 5% increase? Mayor Wolf – what did they do over and above to warrant that pay, specifically. CM Stevens – will copy the sheet for the Commission. Pam assumed all kind of additional responsibilities. Pete is building a 3 million dollar expansion to the plant in addition to his regular work, and Bobby has been inundated. Mayor Wolf – contractors were paid to do the construction to the plant. Pete has nothing to do it. Noted a memo in his box indicating that Pete had two guys out in the rain running the generators and stayed with it until done. The public works department was out cutting trees out of yards and roadways. They didn't need an at-a-boy, they are doing their job. Pam does a good job, but there is \$6000 in Executive, who was that. CM Stevens – Pam would be a good portion of that. Mayor Wolf – if she received \$6000 in overtime why would she need a salary increase. CM Stevens – additional responsibilities. She takes care of the air conditioning, computers. Mayor Wolf – wasn't Susan employed to help her. CM

Stevens – as you go from an annual budget of 6 million to 12 to 15, you are handler more. This applies to Joseph's department also. The bills that go through the

Finance department with a budget of 15 million is twice as much as one with 7 million. There is an increased workload that you have to take into account, or the people get stressed out and end up with illnesses and more problems.

Mayor Wolf – up until this year a lot of her's was summer camp. CM Stevens – she is here until 6 or 7 at night and doesn't charge us for half of what she puts in. She can't do her job in 40 hours per week. Commissioner Bivins – is there no one else that was hired in City Hall that can assume some of those responsibilities. Does it all have to fall on Pam's shoulders. CM Stevens – the least you can do is pay her more money for doing it. Mayor Wolf – it looks like she was paid \$6000. Commissioner Bivins – you were talking about the stressing out and everything, then it sounds like some of the responsibilities need to be shifted somewhere. Can Susan not take some of the responsibilities? Why does Pam have to deal with the air conditioning? So when Summer Camp left her you increased her with other responsibilities. CM Stevens – we intended for Summer Camp to leave her, but she is still most of it. Mayor Wolf – want to discuss Summer Camp next session.

Commissioner Allen – concern is that we have 100 employees and three employees in the middle of the budget get a 5% raise. That didn't set well with me. Feel that if the City Manager wanted to do that, it should have come by the Commission. CM Stevens – it has been going on for 50 years. Mayor Wolf – unbeknownst to us. Commissioner Allen – the Commission set a budget and they three employees received a raise, feel the Commission was disrespected.

Mayor Wolf – we had the Cody Study done. CM Stevens – let's pay according to the Cody Study, let's update it and them according to it. Mayor Wolf – we will make that decision, that's why we are the elected officials.

Mayor Wolf – need to review Wastewater. Feel they are overstaffed. The Commission knows that a lot was piled on Robert Smith. If Pam is overburdened that much, you are the one putting it on her. The summer camp has gotten out of hand and we need to look at it. She did the website which was good, but if she was going to get paid for that we should have paid her for that not a 5% increase. Commissioner Bivins – a lump sum.

Commissioner Allen – the costs of engineers and attorney wer asked for at a previous meeting, but would like to professional costs to engineers, attorney, anyone we go out for RFP and the City Manager contract for next budget workshop. Don't want to address the City Manager contract after October 1<sup>st</sup>. All of this needs to be dealt with during budget workshops not later. CM Stevens – have the information and will bring to Commission.

Mayor Wolf – by giving Pete a 5% does that upset what has been done for all department heads that have been here for a longer period of time. You can't say that Pete is doing a better job than Ron Allen, Don Clark, Gene Komegay, Don Dixon,

3. NEW BUSINESS-ACTION REQUIRED a. 3 General Items for Consideration: Discussion on possibility of increasing the Minimums on the Salary Schedule to reflect the 3% COLA that went into effect Oct. 1, 2011 or just assess all salaries, evaluating and rectifying current compression issues and present to Commission upon completion